

# **ENVIRONMENTAL PREVIEW REPORT**

**CABOT READY MIX LIMITED  
PROPOSED WHITE HILL POND QUARRY  
ST. JOHN'S, NL**

Submitted by:

Cabot Ready Mix Limited  
P.O Box 14091, Stn. Manuels  
Conception Bay South, NL  
A1W 3J1

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**DATE SUBMITTED: 11 MAY 2023**

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1.0	NAME OF UNDERTAKING	White Hill Pond Quarry
2.0 PROPOONENT		
2.1	Name of Corporate Body	Cabot Ready Mix Limited
2.2	Address	195 Conception Bay South Bypass Road St. John's, NL A1H 0H6
2.3	Mailing Address	P.O Box 14091, Stn. Manuels Conception Bay South, NL A1W 3J1
2.4	Chief Executive Officer	Bill Weir P.O Box 14091, Stn. Manuels Conception Bay South, NL A1W 3J1 Tel: (709) 368-4081
2.5	Principal Contact Person	Travis Byrne  Project Coordinator P.O Box 14091, Stn. Manuels Conception Bay South, NL A1W 3J1 Tel: (709) 765-3605 Email: tbyrne@weirs.ca

## **3.0 THE UNDERTAKING**

### **3.1 The Nature of the Undertaking**

Cabot Ready Mix Limited propose to develop a new sand and gravel quarry in the White Hill Pond region of Conception Bay South. This new aggregate site will support the Company's existing concrete, asphalt and aggregate production operations which has depleted its sand and gravel source at its existing operations site.

Without an alternate source of sand and gravel the Company's existing operations may have to cease operations jeopardizing the employment of fifty to sixty permanent and seasonal employees.

### **3.2 Purpose/Rationale/Need for the Undertaking**

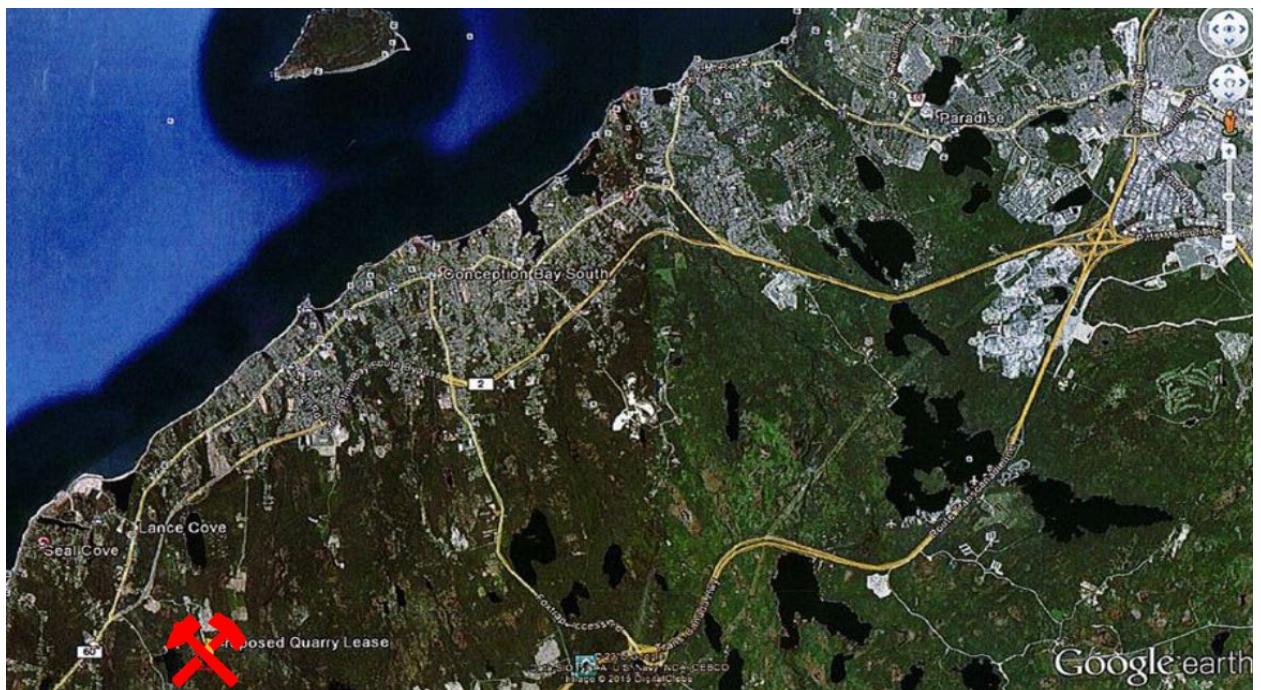
The purpose of the undertaking is to develop a new source of aggregates to allow the continued operation of Cabot Ready Mix Limited. Cabot Ready Mix is located just off the Conception Bay South Bypass Road in St. John's and supplies ready mix concrete for sale throughout the St. John's Metropolitan and the entire Northeast Avalon regions.

Cabot Ready Mix Limited's current source of aggregate, located in its existing quarry situated on Incinerator Road in Foxtrap is nearly depleted and a new sand and gravel source is necessary for the continued operation of Cabot Ready Mix Limited.

## 4.0 DESCRIPTION OF THE UNDERTAKING

### 4.1 Geographic Location/Physical Components/Existing Environment

The new aggregate quarry site being proposed by Cabot Ready Mix Limited is located off Granny Till Road in Seal Cove, Conception Bay South. It is situated within the town limits of the Town of Conception Bay South (Lat:  $47^{\circ} 26' 56''$ , Long:  $-53^{\circ} 2' 52''$ ), as shown by the red "X" on Map 1.



**Map 1 – Proposed Quarry Location**

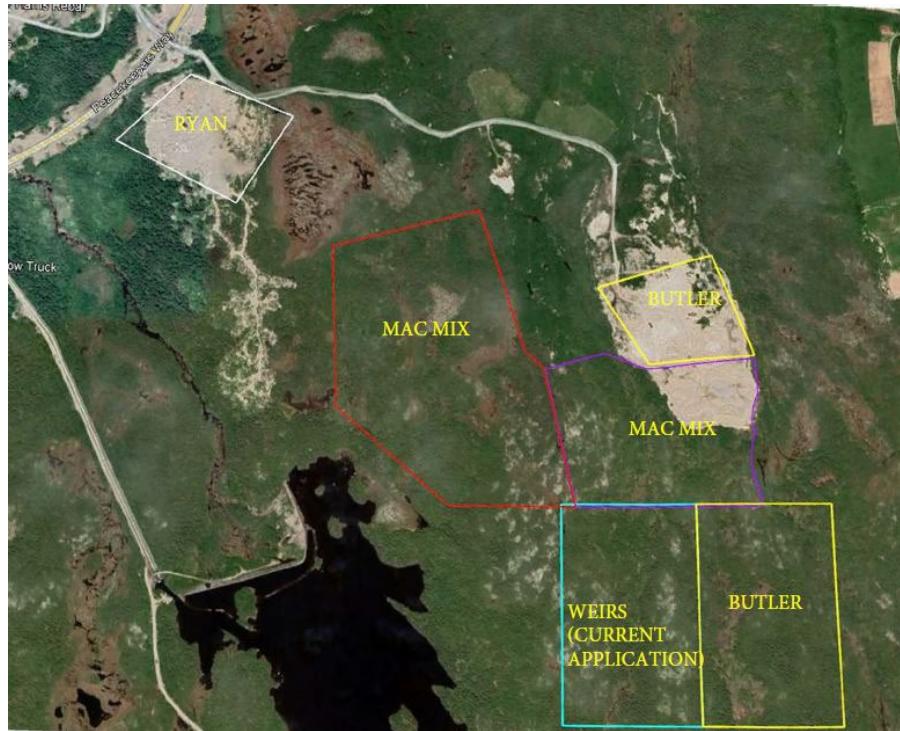
This proposed quarry site is within the limits of an Aggregate Exploratory Permit which Cabot Ready Mix Limited first acquired in 2005.

The area is zoned for mineral extraction and there are several active quarrying operations in the immediate area, as shown on Map 2.

These quarry sites are situated within the Butterpot-Witless Bay Line Environs (BPWBLE), and subject to the BPWBLE Development Control Regulations.

The area proposed by Weir's to develop its quarry, is mostly vegetated by medium density boreal coniferous forest containing mostly spruce with fir, juniper, and birch present. Ground cover is a combination of thin veneers of moss, fern and grasses overlying gravel.

There are no identifiable water bodies or significant wetlands located within the proposed quarry site. The natural topography drains in a westerly direction towards White Hill Pond, a water body under the control of Newfoundland Power for hydrogeneration purposes.



**Map 2: Active Quarry Permits**

The proposed site is ten hectares in size. Its closest boundary is approximately two hundred meters west of White Hills Pond as illustrated on Map 3.



**Map 3: Natural Drainage Pattern**

Approximately 1.5 kilometers to the east is an agricultural area which is used mostly as local pastureland and hay growing operations.

The area is inhabited by wildlife native to this area such as a rabbit, moose, fox, red squirrel, shrew as well as a variety of bird species. However, no known endangered species have been identified as inhabiting this area.

Cabot Ready Mix Limited has attempted to acquire a Quarry Permit ever since the completion of its initial exploration of the aggregate potential of the area under its earlier Aggregate Exploration Permit. Unfortunately, for various issues related to access, Cabot Ready Mix Limited has yet to acquire a Quarry Permit.

#### 4.2 Construction

Cabot Ready Mix Limited propose to develop the quarry site in stages, each stage approximately 3.3 hectares in size.

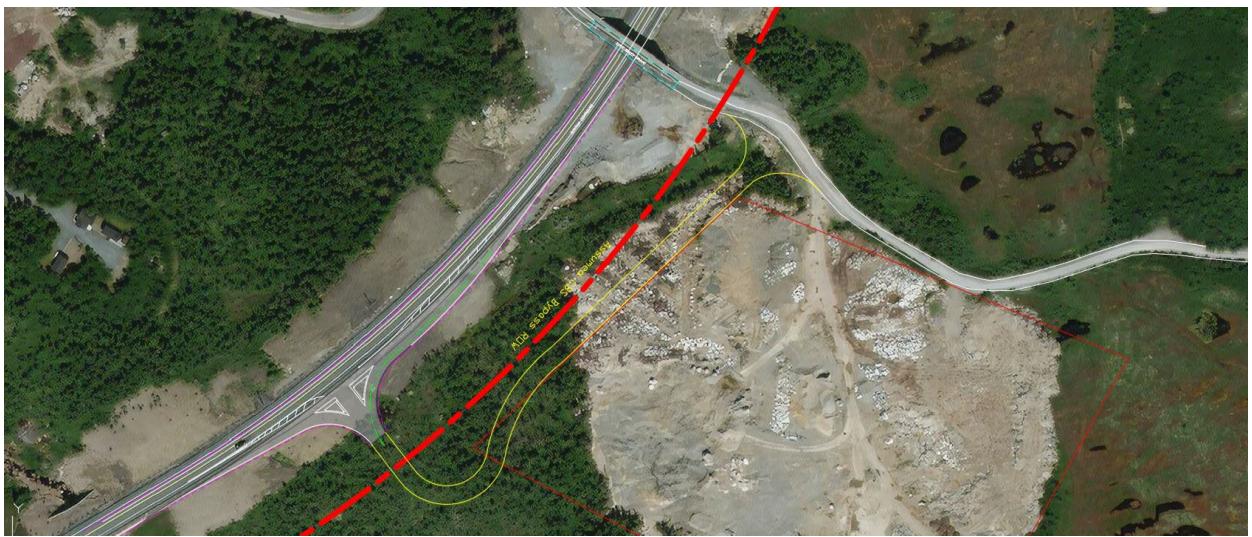
To address the issue of access, Cabot Ready Mix Limited intends to construct a new access off Peacekeeper's Way to Granny Till Road and then a second access road from Granny Till Road to the actual quarry site.

The proposed start date for construction of access roads to the quarry location is Spring of 2023.

##### *Access Road*

As previously indicated to access the quarry site will require the construction of

- a new access off the CBS Bypass (Peacekeepers Way) and a 300-meter section of new private roadway to connect the new intersection to Granny Till Road east of the existing bailey bridge. This section of new road is illustrated on Map 4. This section of road will be located along the northwest boundary of an existing Quarry Lease held by Ryan whose boundary also parallel the Peacekeepers Way right of way.
- A second section of road, approximately 700m long, will be constructed to connect Granny Till Road to the proponent's proposed quarry site as shown on Map 5. This proposed access road will be constructed in the 20m wide corridor that has been identified by the Department of Industry, Energy and Technology for accessing the various quarry sites in the area.



Map 4: New Access off Peacekeepers Way



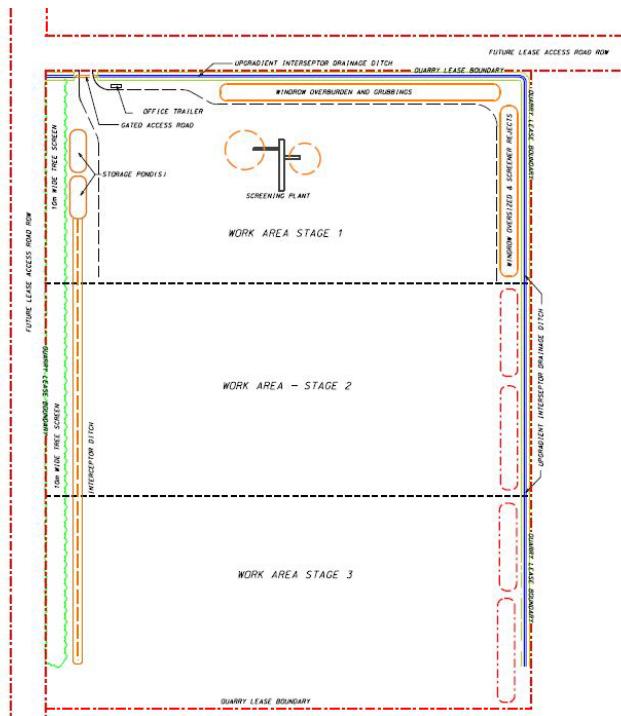
Map 5: Access Road Routing

## *Site Development*

Once access to the site is available efforts will concentrate on clearing and grubbing the site to access the aggregates. As previously suggested the site will be developed in three stages, and activities associated with each stage of development will be similar, and include:

- Clearing of the site (All salvageable timber will be harvested and sold).
- Grubbing a portion of the site to allow for initial aggregate extraction (the site will be developed in stages, each stage equating to approximately 1/3<sup>rd</sup> of the site). Overburden and any topsoil stripped from these areas will be separated and stockpiled in separate wind rows along the up-gradient site boundary. These stockpiles will be used in the site restoration process once all accessible aggregates have been removed.
- An interceptor drainage ditch will be constructed along the up-gradient boundary to intercept surface drainage and channel it around the active working site. This will minimize the amount of surface drainage encountered the working limits of the quarry and minimize runoff siltation issues.
- A second interceptor drainage ditch will be constructed on the down gradient limits of the working site to intercept contaminated water and channel that water to an on-site storage pond. This pond shall be used for any on site water needs and to contain contaminated water caused within the working site limits.

Map 6 shows the proposed general layout for the staged development of the site, a more detailed site development plan is appended to the report as Appendix "A".



**Map 6: General Site Development Concept**

### *Construction Schedule*

The Access Road construction phase of this project is expected to take approximately 2 months to complete, and the quarry will be cleared and grubbed in various stages to access the underlying sand and gravel. It is expected that aggregate extraction will take place mid to late summer 2023 as outlined in the attached schedule:

Construction of Access Road	Spring 2023
Initial Site Clearing	Summer 2023
Aggregate Extraction Start	Summer 2023
Expected Life Span of Operation	10-15 Yr.
Beginning of Site Rehabilitation	Summer 2035

### **4.3 Operation and Maintenance**

Operations at the site shall include:

- Land Clearing – The trees on site will need to be cleared using appropriate equipment to access the underlying ground. Any permits that are required will be obtained from the Department of Forestry and Agriculture before any cutting/land clearing commences. All identified salvageable timber shall be harvested for commercial use.
- Grubbing - All overburden material shall be stripped and stockpiled at designated locations along the up-gradient perimeter of the quarry for future use in rehabilitating the quarry once all resource material has been exhausted.
- Aggregate Extraction, Screening, and Stockpiling – Gravel materials extracted shall be screened and stockpiled for use and as required trucked to the proponent's existing concrete operations.
- Aggregate Washing – Any washing that takes place on site will be done using water reclaimed from on site water storage pond(s). All pond(s) shall be actively managed to ensure no contaminated water is permitted to leave the site and potentially contaminate other water bodies in the area.

Typical list of equipment that shall be employed on site includes:

- Dump Trucks
- Excavators
- Loaders
- Crushers
- Aggregate Screening plant
- Generators
- Pumps

Ancillary Support Facilities may include:

- Small Mobile Site Office/Lunchroom
- Weigh Scales

Labour Force:

- Site Foreman
- 2-3 Heavy Equipment Operators
- Truck Drivers as needed.

Potable Water Source

- Intent is to provide bottled potable water for employee.

Sewage Disposal

- Intent is to provide portable toilet facilities for employee use. These will be emptied at regular intervals using a vacuum truck operated by a licensed waste disposal operator and disposed of at an approved treatment facility.

Fuel Storage

- There will be no facilities provided for fuel storage and any need to fuel site equipment shall be done using fuel delivery from approved fuel transport truck. An approved hydrocarbon spilt clean up kit will be stored on site to address any potential accidental spill occurrence.

Power Supply

- No permanent power supply is required for the site and any site power shall be provided using portable power generation.

#### 4.4 Water Drainage Plan

The closest waterbody to the proposed quarry is White Hill Pond which is located approximately 200m to the west of the proposed quarry. The proposed site drains in a westerly direction towards White Hill Pond and to mitigate any environmental impact on this waterbody Cabot Ready Mix Limited shall ensure that.

1. A 50m wide buffer shall be maintained between the nearest quarry boundary and the and White Hill Pond.
2. All drainage within the quarry shall be controlled via ditches and confined to the site.
3. All water used within the quarrying operations shall be sourced from on site storage and any resulting discharge shall be channeled back into on site storage for reuse.
4. No contaminated water shall be discharged from the site and shall be stored on site in appropriate settling ponds for use and reuse.

#### 4.5 Visibility Plan

The proposed site will not readily visible to the public travelling east on Peacekeeper's Way, however, the proposed site is partially visible from a number of vantage points for those travelling west on Peacekeeper's Way.

The closest public road/highway (Peacekeeper's Way) is approximately 1200m from the proposed quarry site. The closest home on Lawrence Pond Road is approximately 1400m away, while the closest home on Daniel's Road is approximately 1800 m away.

Appendix "B" shows view planes from the following vantage points.

- Peacekeepers Way travelling West.
- Peacekeepers Way travelling East.
- Daniel's Road (closest residential area to proposed site)
- Lawrence Pond Road
- Peacekeeper's Way East Bound Off Ramp at Lawrence Pond Road.

In most locations a combination of the existing natural vegetation and natural topography shield the proposed quarry site from public view. However, there are a few locations on Peacekeeper's Way in the west bound lane where the site is visible for a brief period, and a comparable situation exist at various location on Lawrence Pond Road. However, the proponent does not anticipate any visual complaints by the public due to the physical separation between the view pints and the quarry. Furthermore, it should be emphasized that there are already several ongoing quarry operations in the immediate area and the proponent has not been made aware by any government agency or anyone from the public of any visibility concerns.

#### 4.6 Rehabilitation Plan

The quarry will be cleared and grubbed in stages and the operations will run in these same stages.

As material is depleted in the first stage then the second stage will commence.

Once all the material on site is used then the site shall be rehabilitated in strict accordance with the applicable regulations set out in the Department of Industry, Energy and Technology Quarry Permit. In general rehabilitation shall include:

- Grading all side slopes to a 2(H): 1(V) and then the slope shall be covered with the original overburden stripped from and stockpiled during the quarry operations, as illustrated below.



**Map 7: Rehabilitation Plan**

- The working area floor be graded to prevent water ponding.
- All drainage ditches and storage ponds backfilled and
- Permanent physical barriers placed across all access points to discourage illegal dumping. Of the land will commence. All topsoil and grubbing stockpiled from site will be placed back where it originally came from after each stage is completed.

## 5.0 POTENTIAL ENVIRONMENTAL EFFECTS and MITIGATION

Quarry operations have been on going in this area for an extended period and we are unaware of any adverse environmental issues arising from these existing operations. Likewise, we foresee no adverse environmental issues arising from our proposed development.

Like all quarrying, the potential sources of pollution from ongoing site activities include contamination from uncontrolled site drainage, dust, noise, air emissions and potential spills from the equipment on site.

Appropriate steps to mitigate these risks shall include:

- All site equipment shall have appropriate emission control measures installed.
- There will be on site spill prevention and clean up equipment to address any potential hydrocarbon or lubricant spill immediately.
- Regular watering of the access road should provide adequate dust control.
- Crushing equipment shall be equipped with the appropriate dust control features.
- Site drainage shall be controlled and managed.
- Site access shall be restricted to authorized personnel only and not to the public.

- No on-site fuel storage.
- Noise levels shall be typical of current construction activities in the area.
- Access to the site will be controlled using a combination of physical barriers and gates.
- Litter shall be collected at regular intervals and transported to an approved solid waste disposal site.

## 6.0 ALTERNATIVES

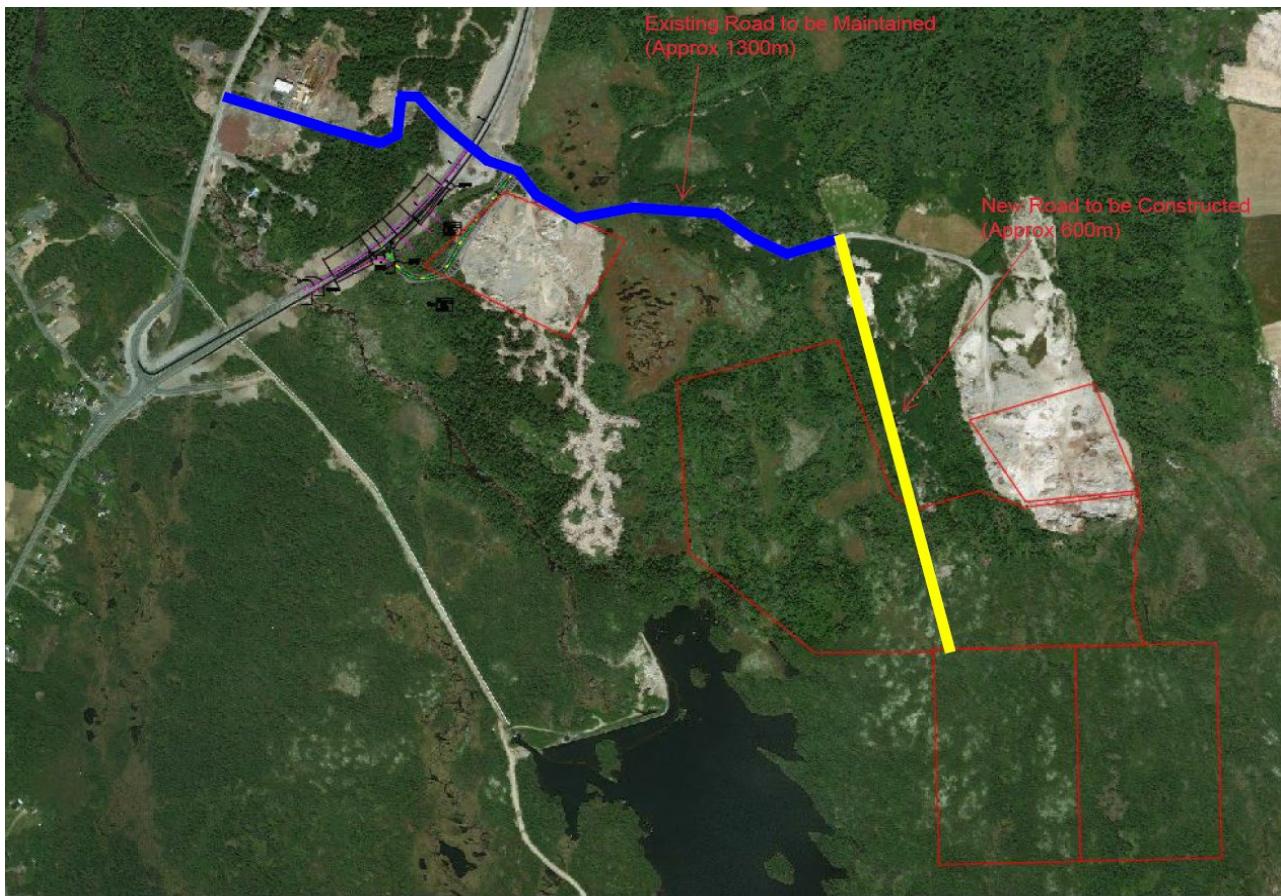
Cabot Ready Mix Limited has made various attempts to identify other aggregate sources; however, the White Hill Pond location is considered the most suitable in terms of proximity to existing operations and contains proven volumes of acceptable sand and gravels. This site is also near an existing quarry, has already been identified as a potential aggregate site and part of the required access road already exists.

First identified by Cabot ready Mix Limited as a potential future aggregate quarry site in 2005, the Company has been actively trying to secure a Quarry Permit. However, all attempts to date have been foiled because of issues related to securing access to the proposed quarry site. To date three alternate access routes have been considered by Cabot Ready Mix Limited, these have included:

- ***Access Option #1 - Access via the existing Granny Till Road.***

The proponent's initial plan was to utilize Granny Till Road which the proponent understood as being a public road. The proponent intended to come off the existing CBS Highway, cross over the existing bailey bridge and continue to the proposed quarry site. This route would require the proponent to construct approximately 700m of new gravel road from Granny Till Road to the proposed Quarry Site, this would be the cheapest and quickest access option for the proponent. This access route is shown on Map 8.

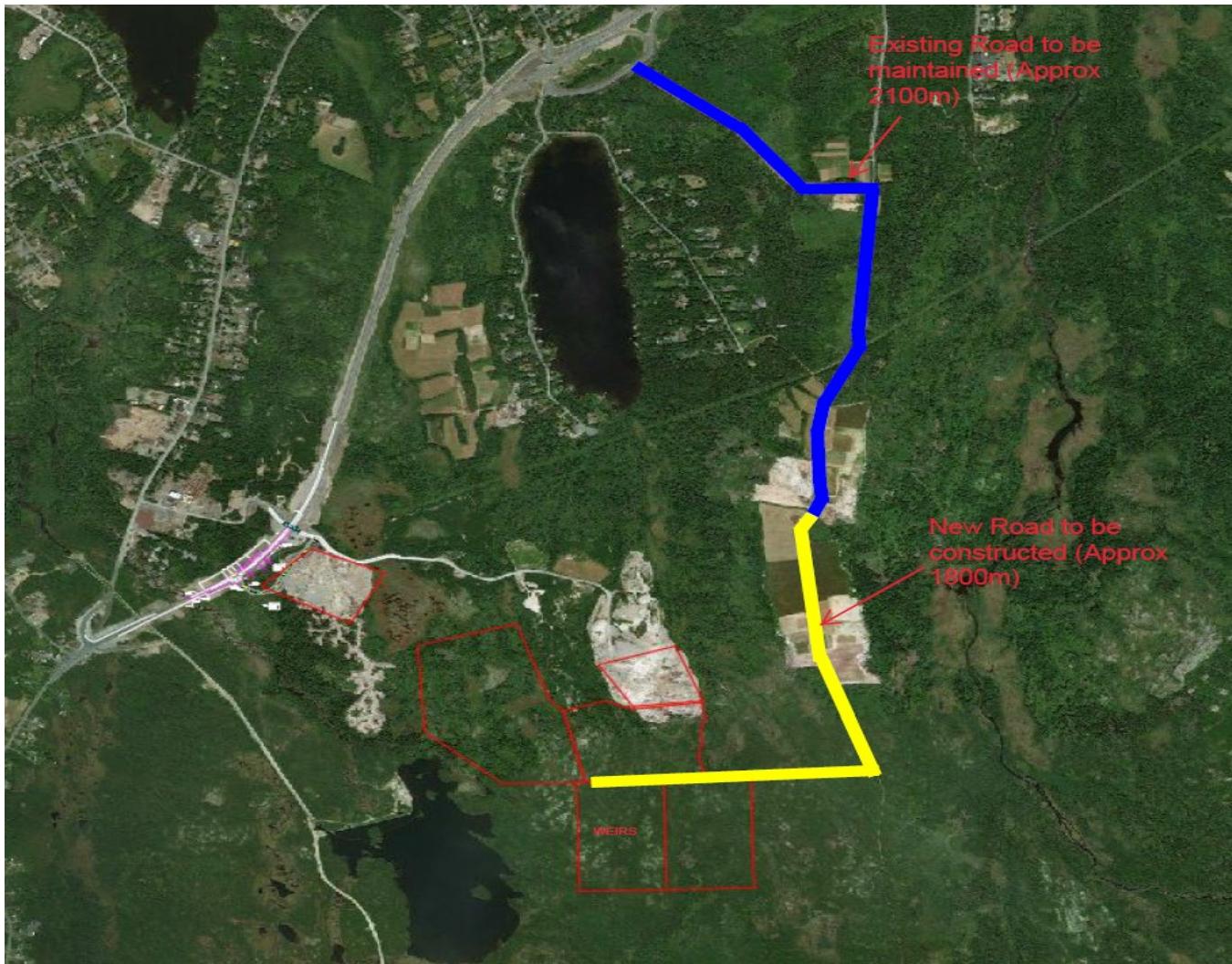
However, when the proponent went to apply for the quarry permit, the proponent was informed that the front section of Granny Till Road, from the CBS highway to the bailey bridge, was apparently on private land, which restricted access, and the proponent was denied access across that portion by the supposed land owner. After several years of frustration attempting to resolve the access issues. Cabot Ready Mix Limited abandoned attempts to access the proposed quarry using this route.



Map 8: Shows Access Option #1

- ***Access Option #2 - Access Via Farmer's Access/Larch Grove Road/Andrews Road***

The proponent also considered a second route via Farmer's/Larch Grove/Andrews Road, as shown on Map 9, which would be longer in length than the first route option. This option would require the proponent to utilize approximately 2.1 kilometers of public road and to construct another 1.8 kilometers of new gravel road. In addition to the increased length the disadvantage of this route is that it involves multiple public usage such as recreational vehicles, farm equipment and the public whereas the Granny Till Road option would be used exclusively by construction equipment. To avoid conflicting usage issues, dust complaints and the increased maintenance cost associated the proponent chose to consider a third option.



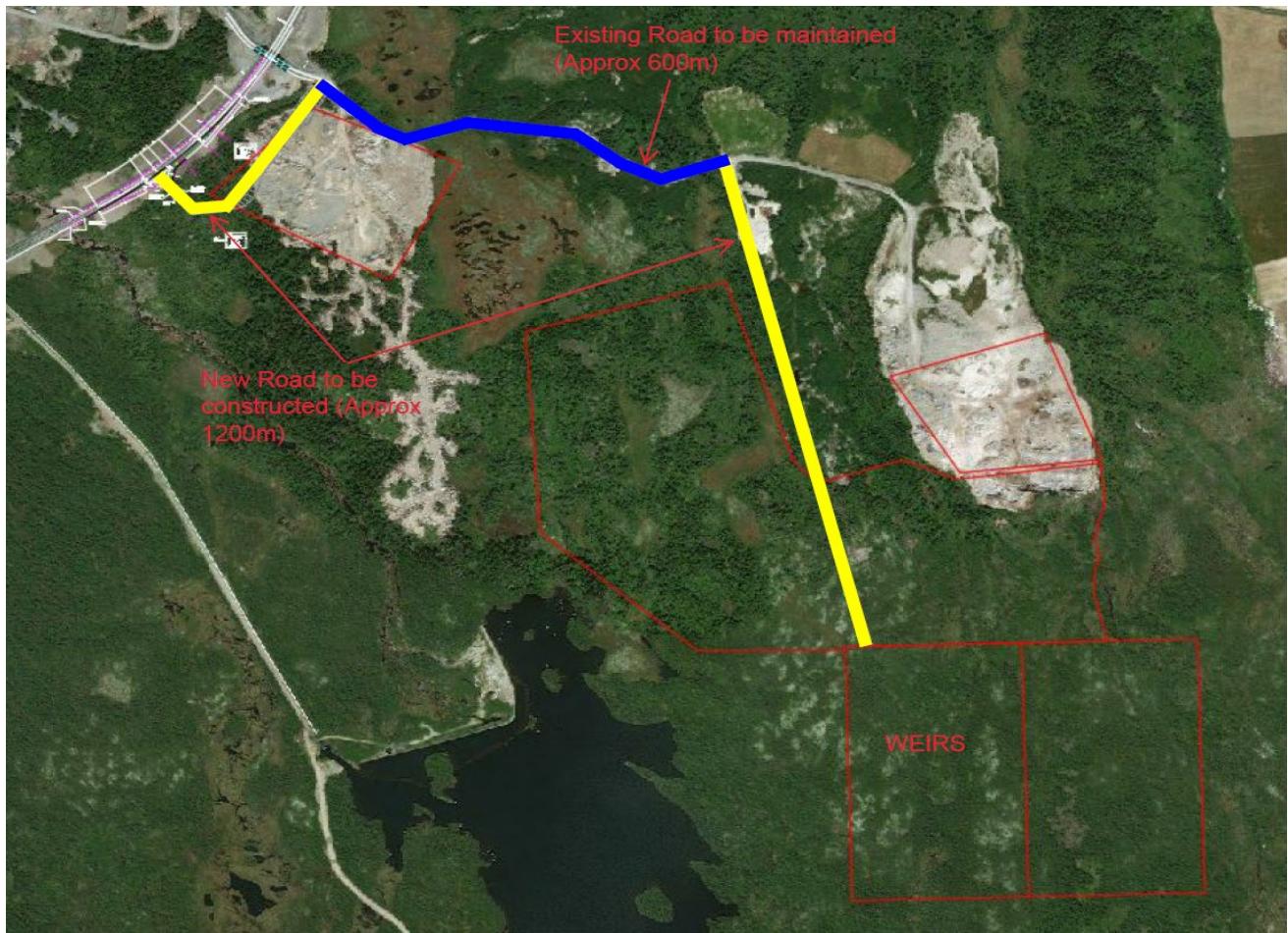
Map 9: Access Option #2

- ***Access Option #3- Access off Peacekeepers Way onto Granny Till Road***

The third option considered by the proponent involves construction of a new access off Peacekeepers Way, bypassing the private property issues, and link this new access to Granny Till Road as shown on Map 10. In consultation with Government, it was agreed that if the proponent constructed the new access road intersection to appropriate RTAC standards the Department would allow the proposed access off Peacekeeper's Way.

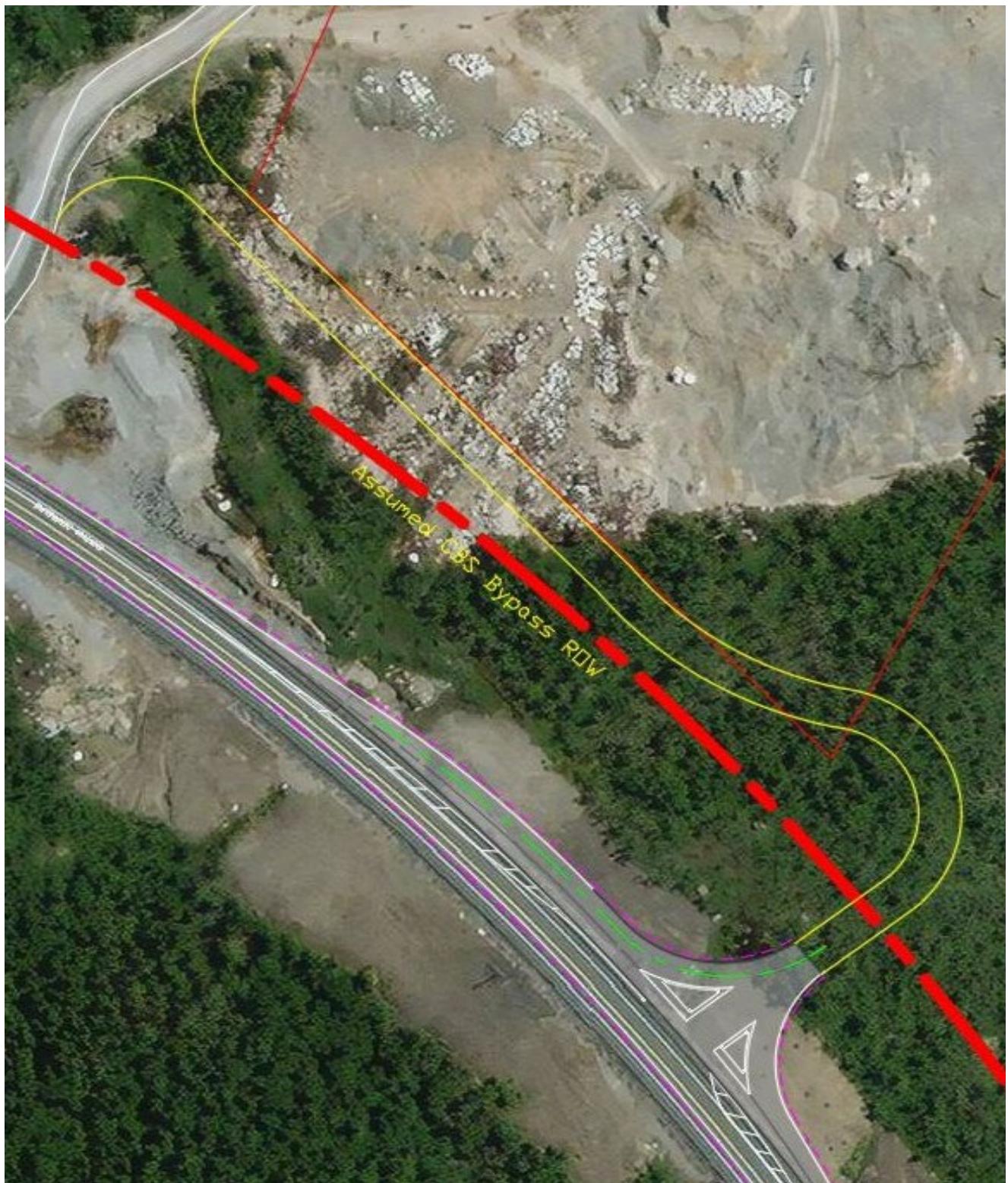
This new access road alignment skirts the northwestern boundary of the current Ryan Quarry lease. This route besides requiring the proponent to construct a 300m long access to Granny Till Road also requires the proponent to construct the same 700m long access road from Granny Till to the proposed quarry site as required under the first option considered. However overall, the length of new road construction is the least

under this option and this option also avoid contact with other users of the public road as per the second option. And the private property issues identified in option 1.



**Map 10: Access Option #3**

Finally, the proponent has opted to proceed with Option 3, it being the least costly and most efficient route to the proposed quarry site.



**Map 11: Location of Ramp off CBS Highway**

## **7.0 DECOMMISSIONING and REHABILITATION**

All topsoil that's removed from the quarry will be stockpiled and will be placed back to restore the area once the operations have been completed.

## **8.0 PROJECT RELATED DOCUMENTS**

There are no other project related documents.

## **9.0 PUBLIC CONSULTATION**

A public consultation meeting was held on the 25 January 2023 at the offices of Weir's Construction to give the public an opportunity to glean information on the proposed quarry application and to provide them with an opportunity to provide comments and input.

In advance of the meeting advertisements were placed in "The Evening Telegram" and the "Shoreline" in accordance with the EPR guidelines. A copy of the advertisement is attached for reference.

The meeting presentation was also made available in electronic format to the Department of the Environment for distribution should anyone unable to attend the meeting expressed an interest in viewing.

A total of 6 individuals from the public attended the meeting.

Meeting minutes were recorded with comments and responses summarized below.

<b>Topic</b>	<b>Public Comment/Concern</b>	<b>Proponent's Response</b>
Wetland Protection	What would be the anticipated impact on existing wetland or water bodies?	<ul style="list-style-type: none"> <li>• A ditch constructed along the upgradient boundary would intercept and divert “clean” surface water drainage around the quarry site to reduce risk of silt contamination.</li> <li>• Drainage within the quarry work area would be collected and channelled to an on-site sediment pond. Any water requirements from site operations for water would be sourced from this pond directed and any used water channelled back to the same pond.</li> <li>• There are no defined natural watercourses transiting the proposed quarry site.</li> <li>• There are no significant wetland areas identified within the proposed quarry limits.</li> </ul>

Access	How will the proposed site be accessed.	<ul style="list-style-type: none"> <li>The site will be accessed off Granny Till Road via routes identified by Department of Industry, Energy and Technology on existing quarry permits.</li> <li>Access to Granny Till Road will be off a new private access road to be constructed off the CBS Bypass Road (Peacekeepers Way).</li> </ul>
Access off Peacekeepers Way	Will there be a left turn access provided off Peacekeepers way and will it be a private access.	<ul style="list-style-type: none"> <li>Yes</li> </ul>
Site Rehabilitation	Will the entire disturbed area be fully rehabilitated once all aggregate extraction has been completed.	<ul style="list-style-type: none"> <li>Rehabilitation shall be done in compliance with Department of Industry, Energy and Technology guidelines for quarry restoration.</li> <li>All vertical faces shall be sloped and covered with previous stripped overburden.</li> <li>Work floor area shall be graded to eliminate risk of ponding water.</li> <li>All equipment and structures shall be removed from site.</li> <li>Physical barriers installed to prevent access to discourage illegal dumping.</li> </ul>

A copy of the Public Presentation is appended to the report as Appendix "C."

## 10.0 APPROVAL OF THE UNDERTAKING

The following is a list of permits, licenses and approvals required for this project.

APPROVALS/PERMITS/CERTIFICATES	REGULATORY AUTHORITY
Quarry Permit	NL Department of Industry, Energy and Technology, Mineral Lands Division
Crown Land Application	For the land between Peacekeepers Way ROW and Ryan Quarry to construct new Access Road
Preliminary Application to Develop Land	Service NL

The undertaking will be funded by Cabot Ready Mix Limited and will not depend on any grant or loan of capital funds from any government agency.

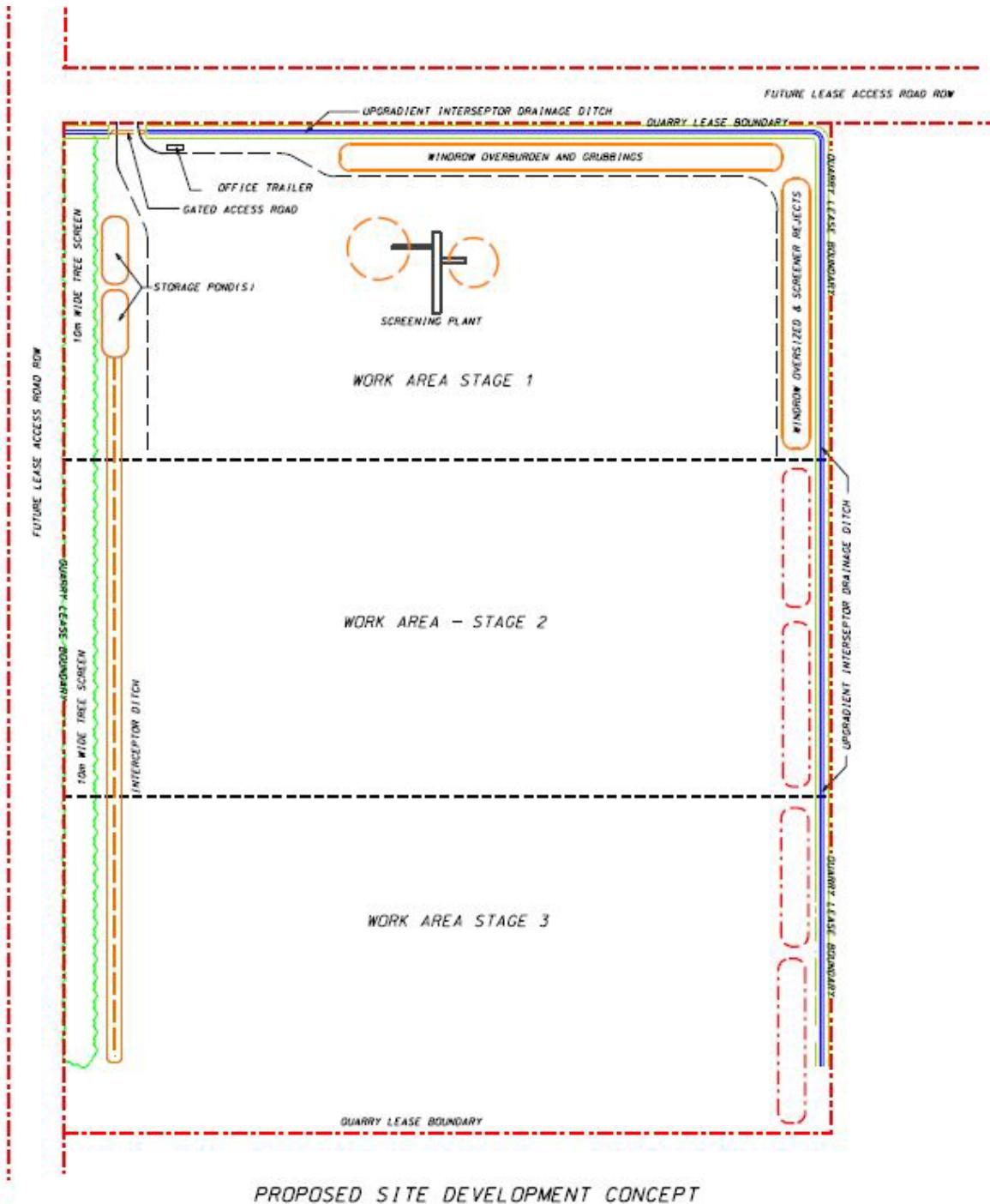


Bill Weir

2023-05-11

Date

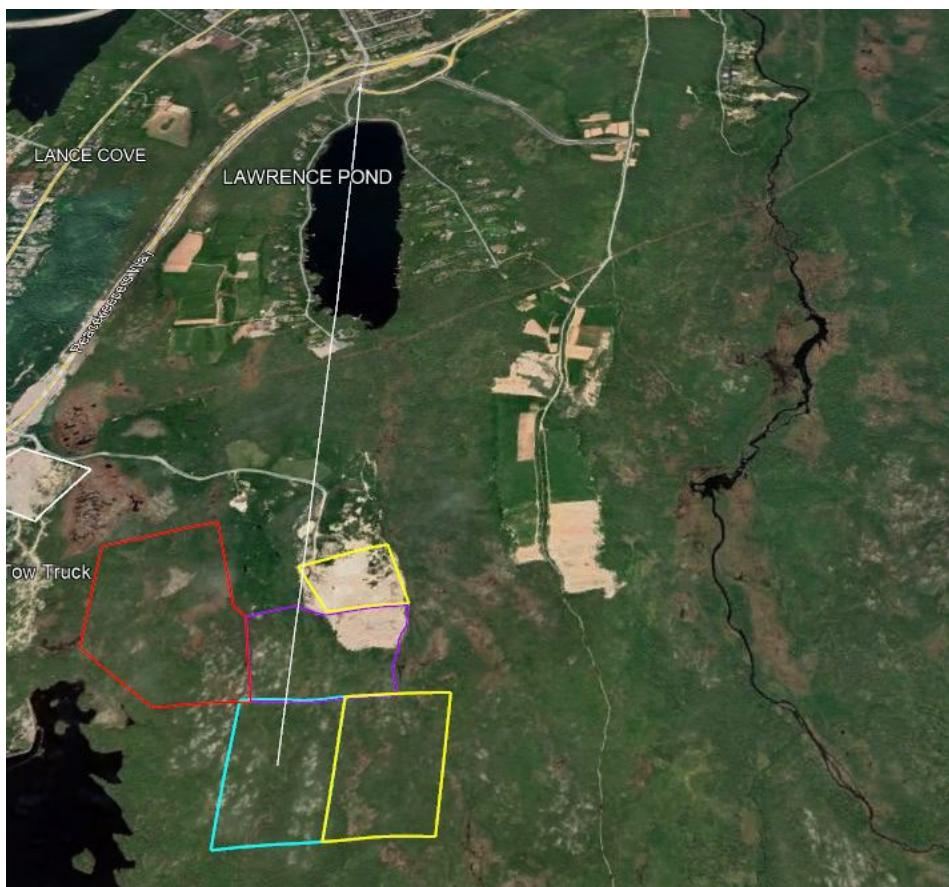
## Appendix A – Site Development Plan



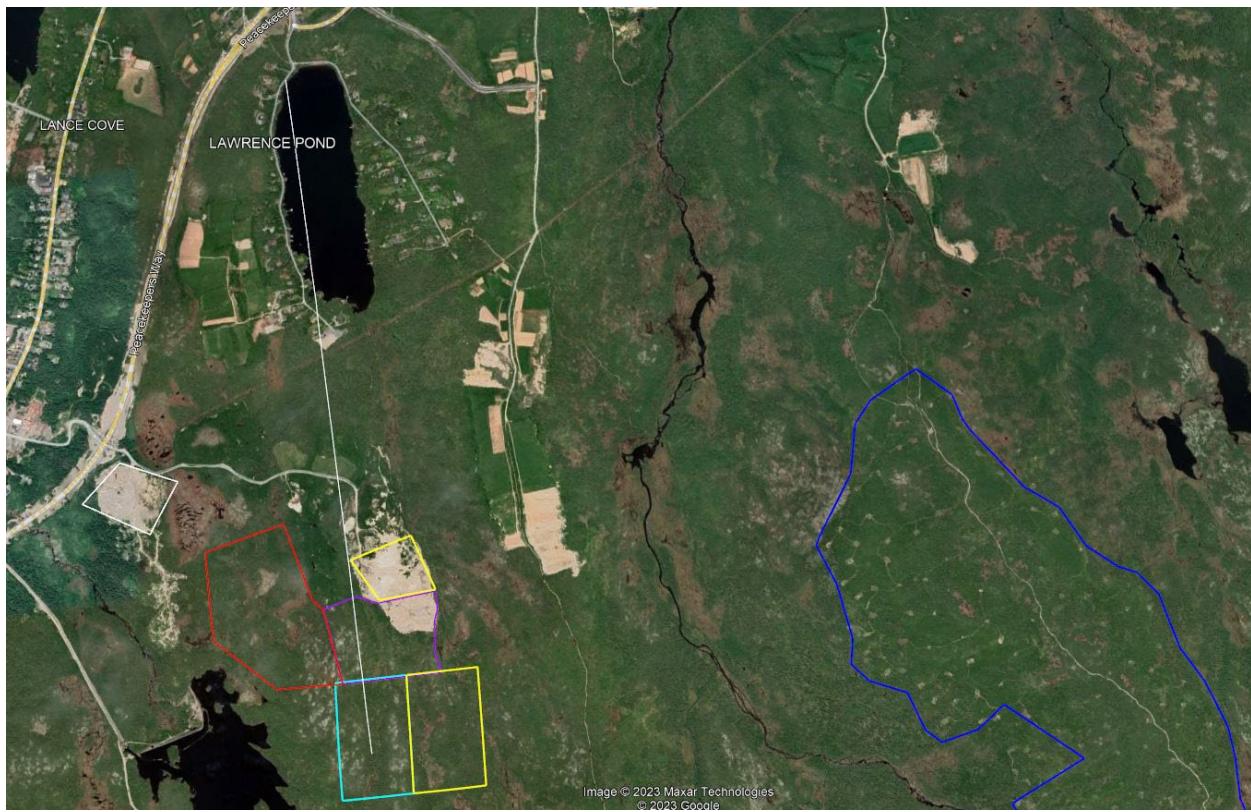
## Appendix B – Visibility Management Plan

The attached view plains indicate that the existing quarry operations and the proposed quarry are partially visible from a number of vantage points when looking in a westward direction. However, none of the viewpoints would suggest that the site would be considered as visually offensive and due to the separation distance, the operations at the existing or the proposed sites would not be noticeable to the general public.

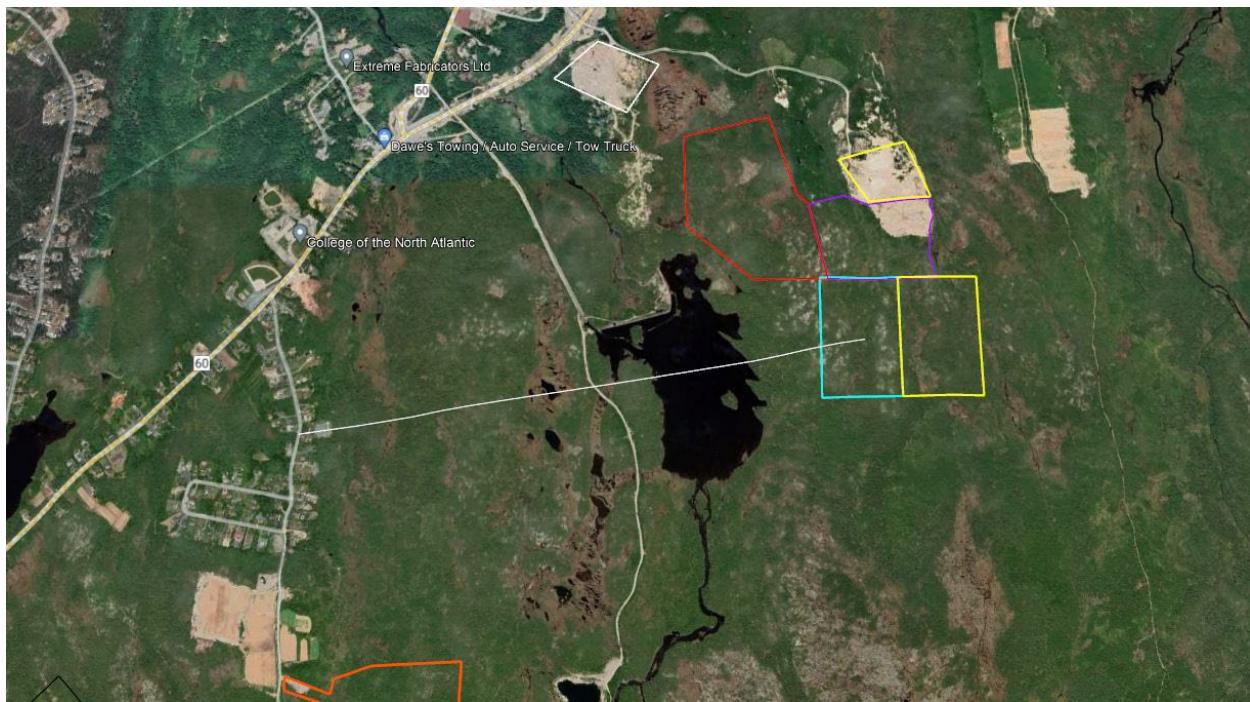
### Viewport from Lawrence Pond Ramps (Section 1)



### Viewport from Lawrence Pond Road (Section 2)



**Viewport from Daniels Road (Section 3)**



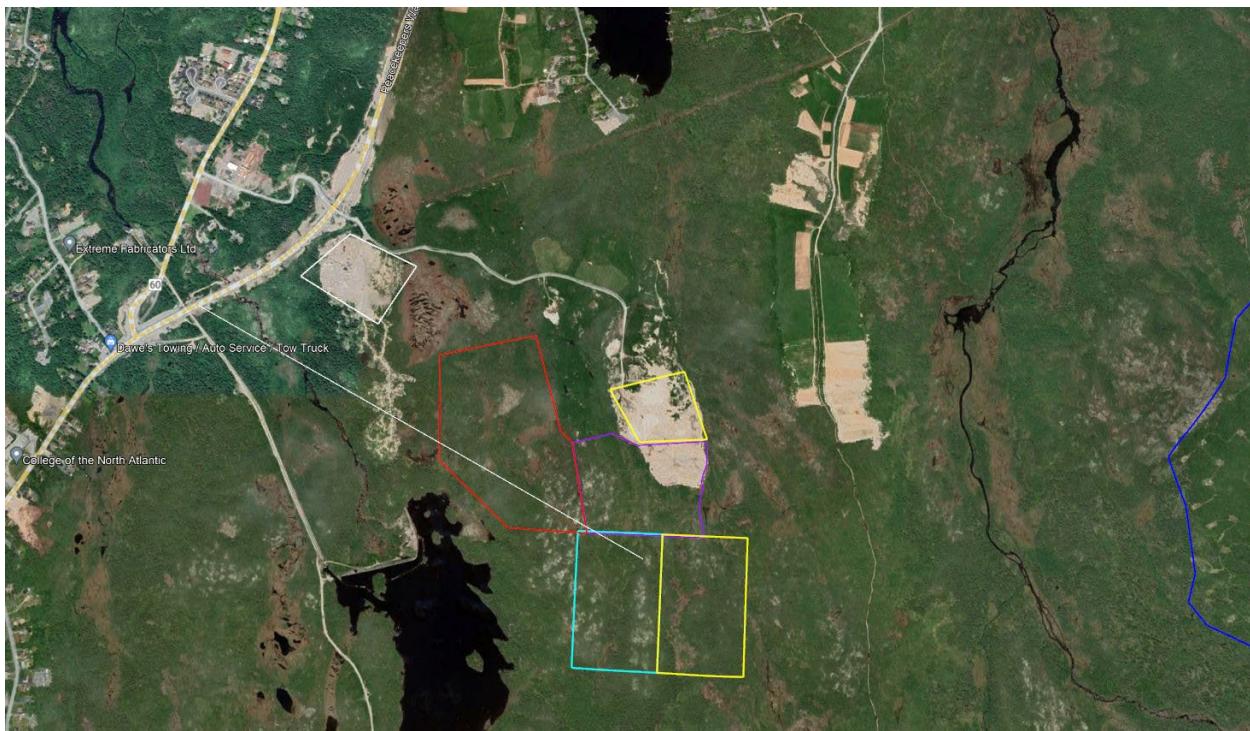
### Viewport from Peacekeepers Way (Section 4)

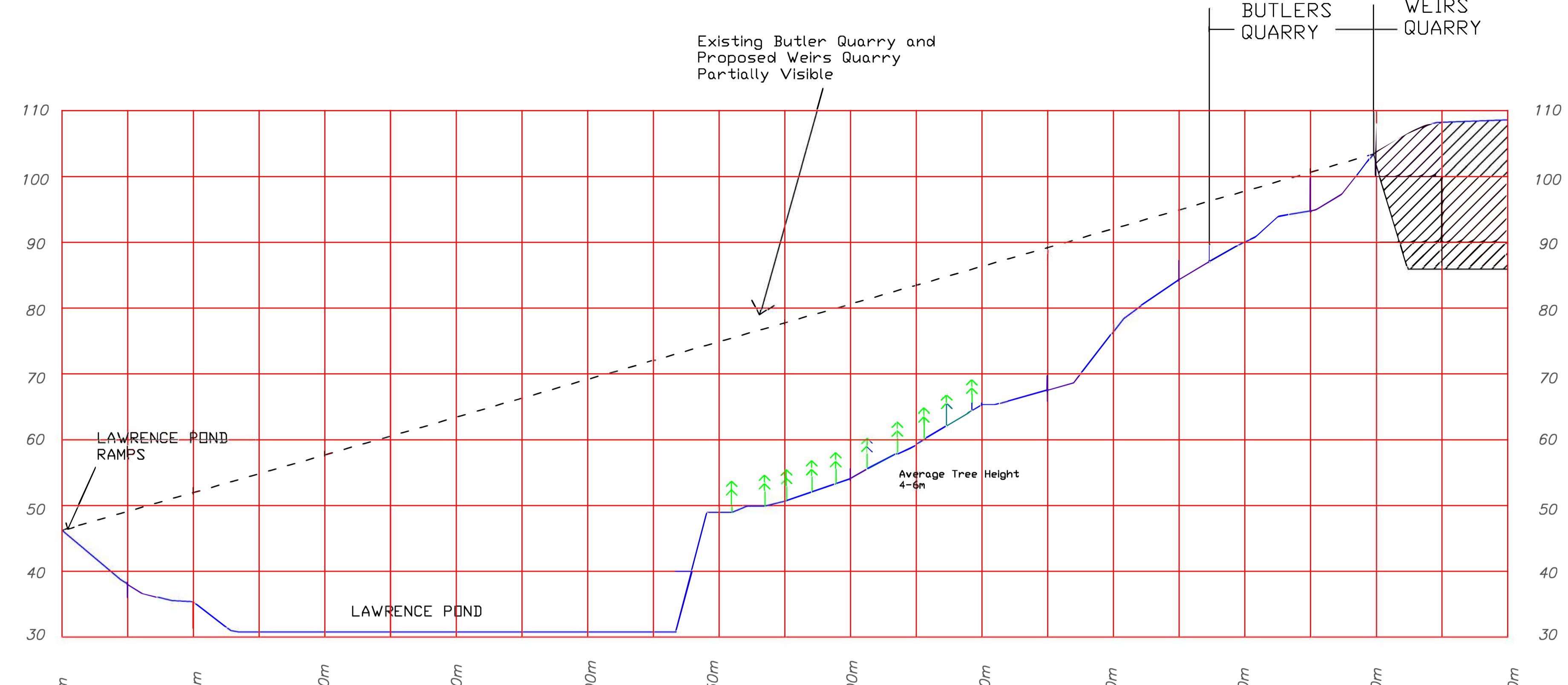


## Viewport from Peacekeepers Way (Section 5)

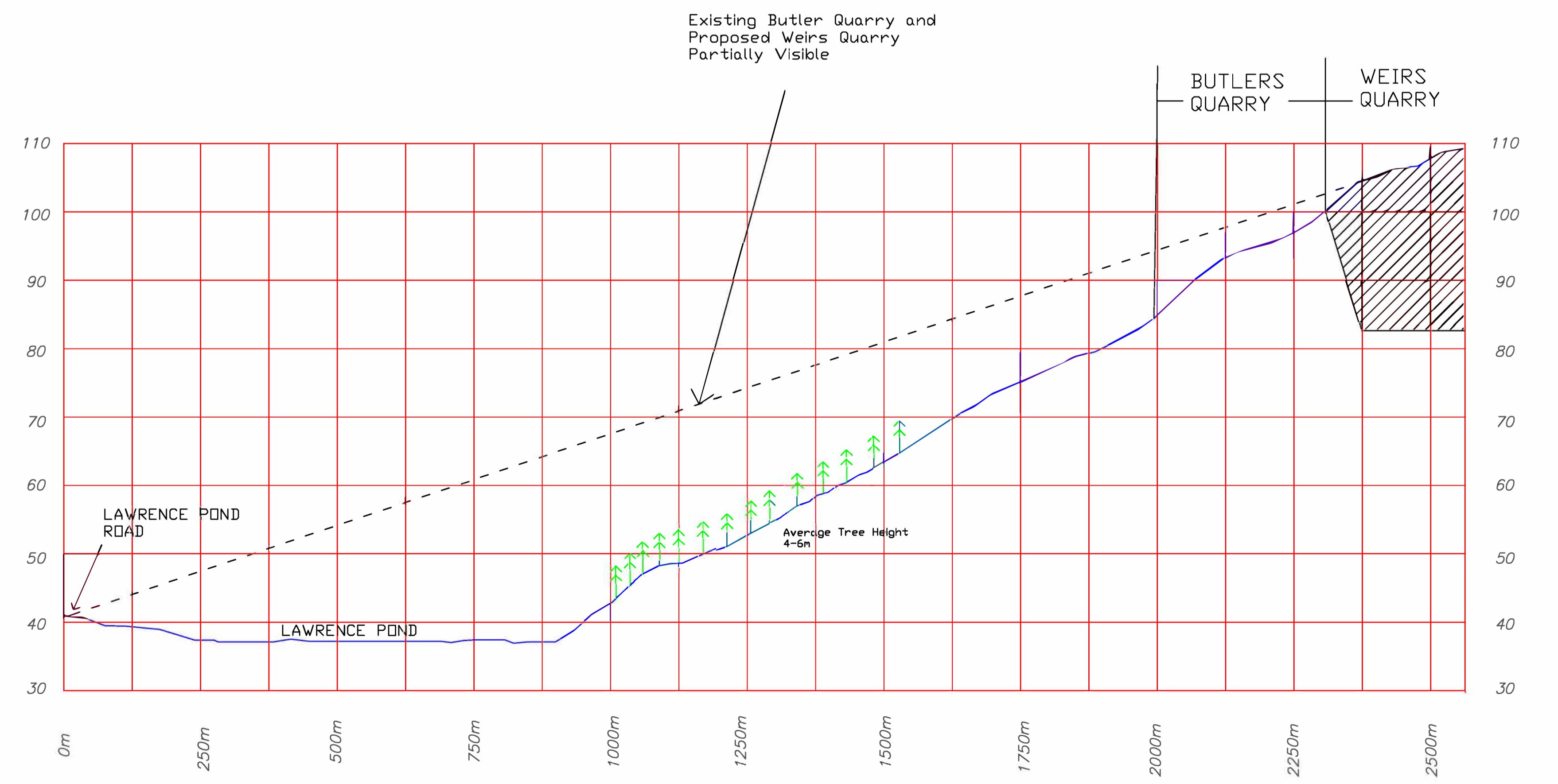


### Viewport from Peacekeepers Way (Section 6)



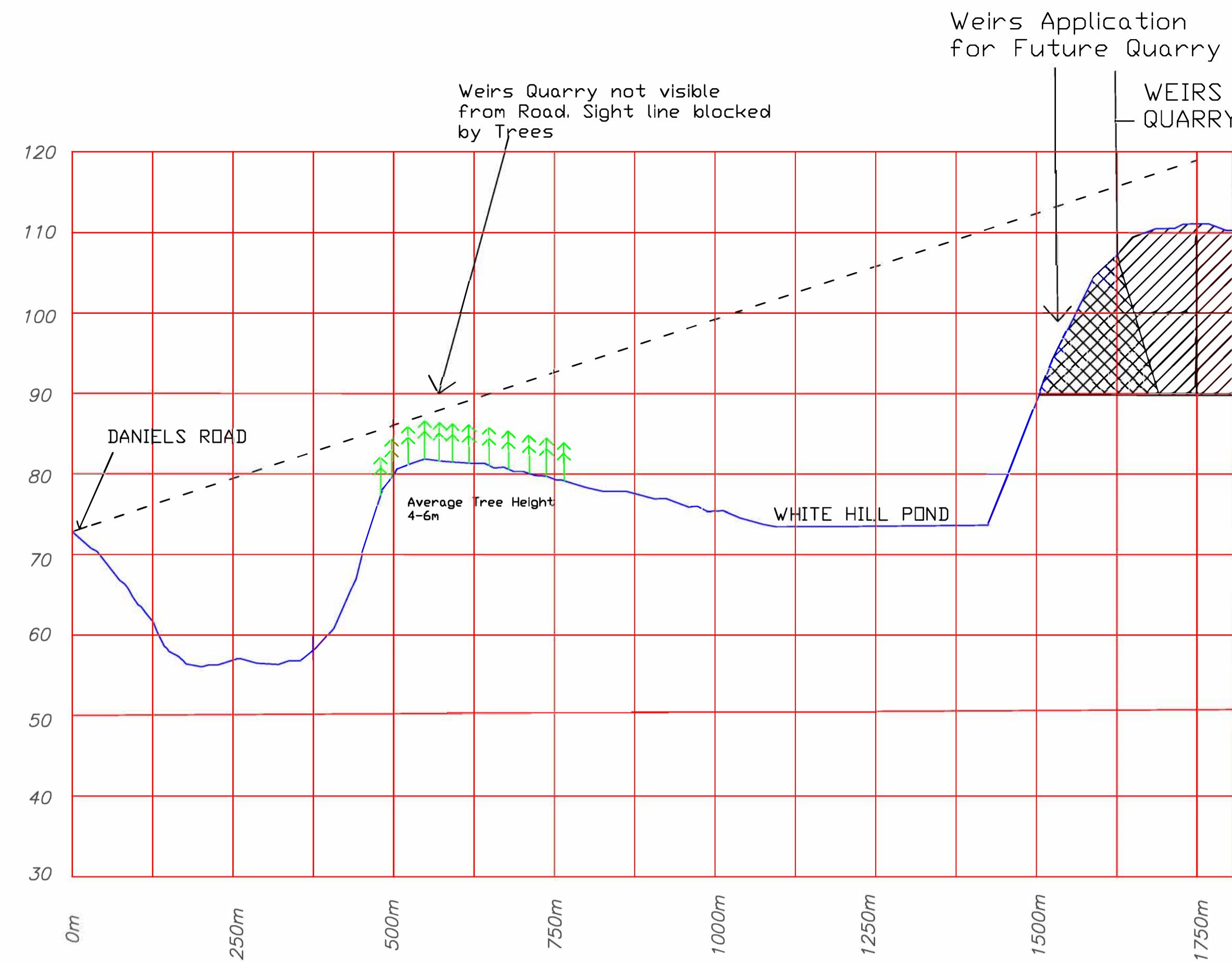


Section 1: View From Lawrence Pond Ramps

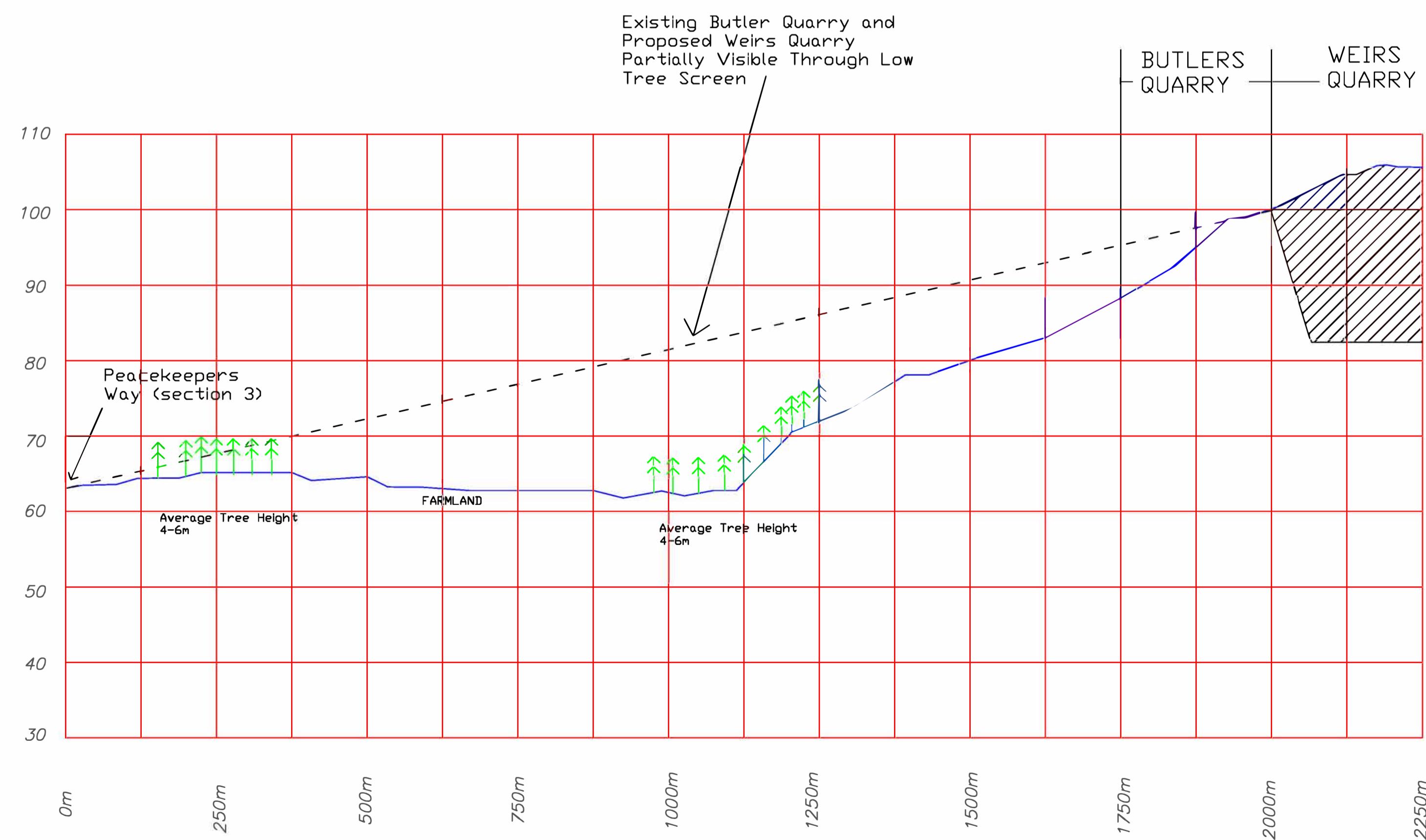


Section 2: View From Lawrence Pond Road (Existing Quarry Partially Visible When Looking Westward)

NOTES:			
A ISSUED FOR REVIEW			
NO.	REVISION	DATE (Y,M,D)	BY
CONVENTIONAL NORTH			
WEIR'S CONSTRUCTION LIMITED CBS BYPASS HIGHWAY ST. JOHN'S, NL., A1B 3N4			
PROJECT ENVIRONMENTAL ASSESSMENT REPORT			
DRAWING TITLE VISIBILITY PLAN VIEWSCAPES			
DRAWN BY:	CHECKED BY:	APPROVED:	DATE 4/26/2023
SCALE: AS SHOWN	PROJECT No:	DRAWING No:	HEET:



Section 3: View From Daniels Road



Section 4: View From Peacekeepers Way

NOTES:

A	ISSUED FOR REVIEW
NO.	REVISION

CONVENTIONAL NORTH
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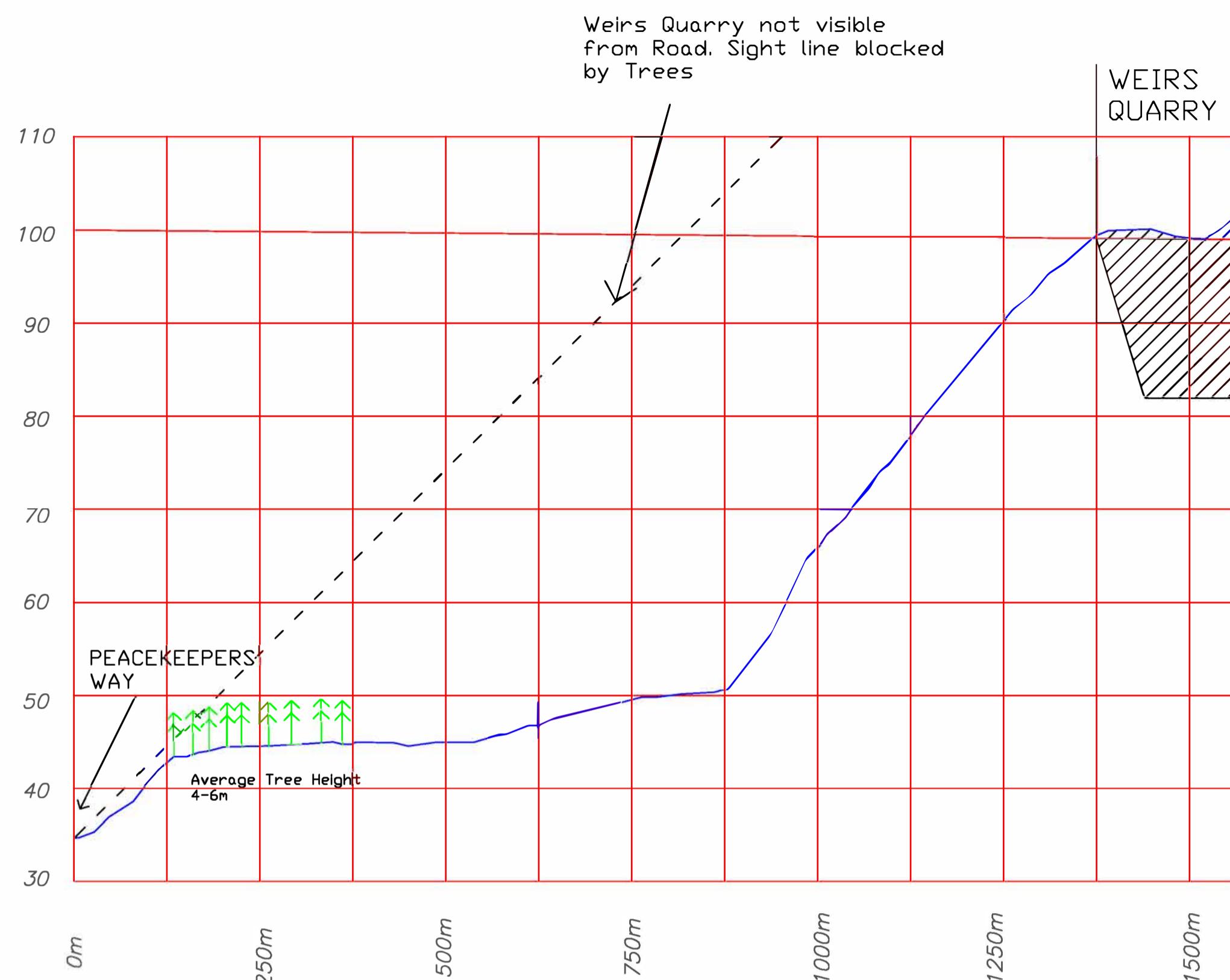
WEIR'S CONSTRUCTION LIMITED CBS BYPASS HIGHWAY ST. JOHN'S, NL., A1B 3N4
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PROJECT
ENVIRONMENTAL ASSESSMENT REPORT

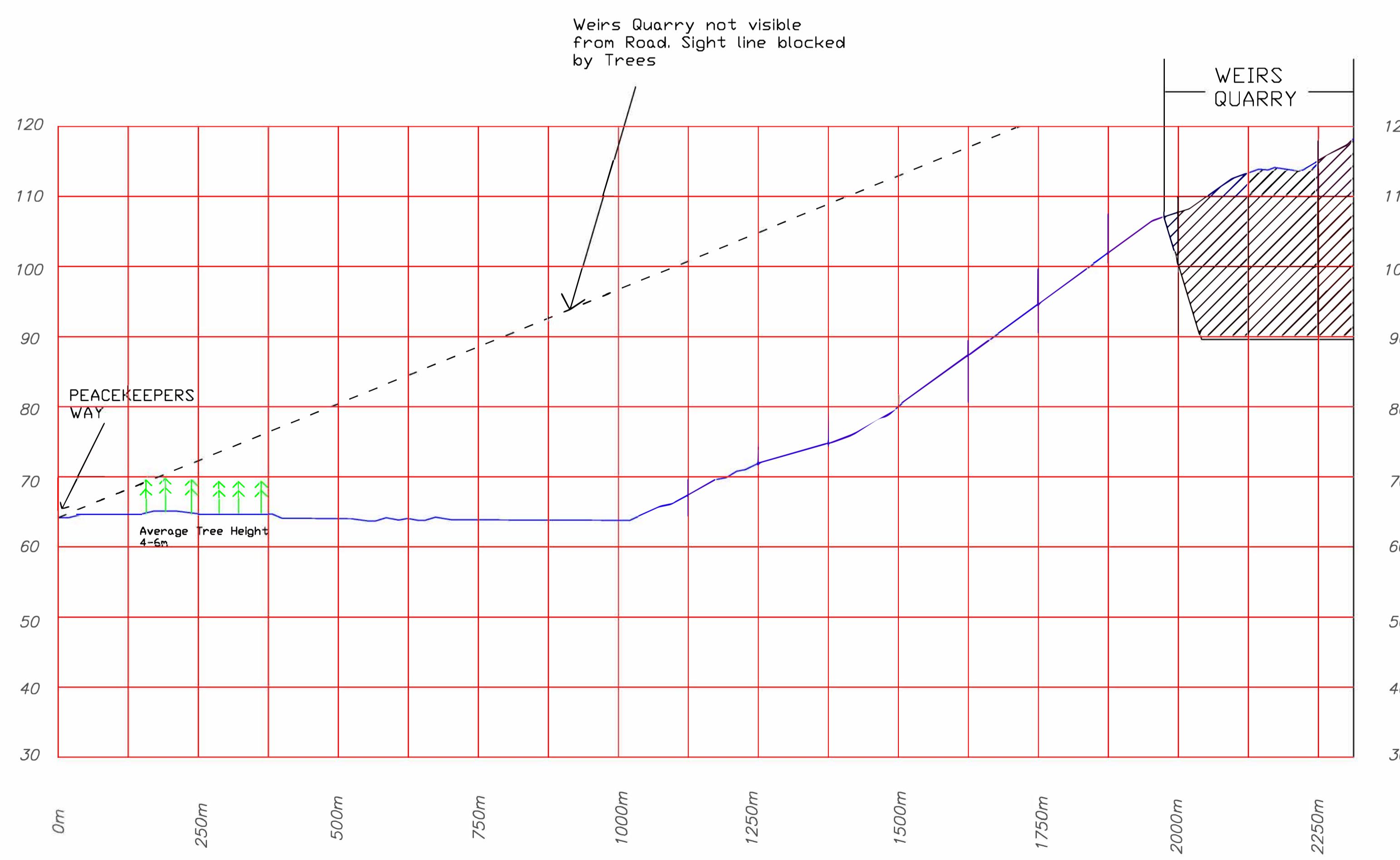
DRAWING TITLE
VISIBILITY PLAN VIEWSCAPES

DRAWN BY	CHECKED BY	APPROVED
		4/26/2023

SCALE: AS SHOWN	PROJECT N o	DRAWING N o	HEET
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## Section 5: View From PEACEKEEPERS WAY



## Section 6: View From PEACEKEEPERS WAY

## NOTES:

A	ISSUED FOR REVIEW		
0.	REVISION	DATE (Y,M,D)	BY

## CONVENTIONAL NORTH

WEIR'S CONSTRUCTION LIMITED  
CBS BYPASS HIGHWAY  
ST. JOHN'S, NL., A1B 3N4

PROJECT  
*ENVIRONMENTAL  
ASSESSMENT  
REPORT*

DRAWING TITLE

*VISIBILITY PLAN*  
*VIEWSCAPES*

DRAWN BY:	CHECKED BY:	APPROVED:	DATE: 4/26/2023
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SCALE: **AS SHOWN** PROJECT No: DRAWING No: SHEET:

## Appendix C – Public Consultation Presentation

# Weir's Construction Limited White Hill Pond Quarry Application

Public Meeting

25 January 2023

7:00 PM

# INTRODUCTION

Tom Kendall, FEC,P.Eng.

- Professional Engineer with 40+ years experience in municipal and environmental engineering
- Adjunct Professor at Memorial University to teach municipal and environmental engineering
- Engaged as a fascinator for tonight's meeting by Weir's Construction Limited

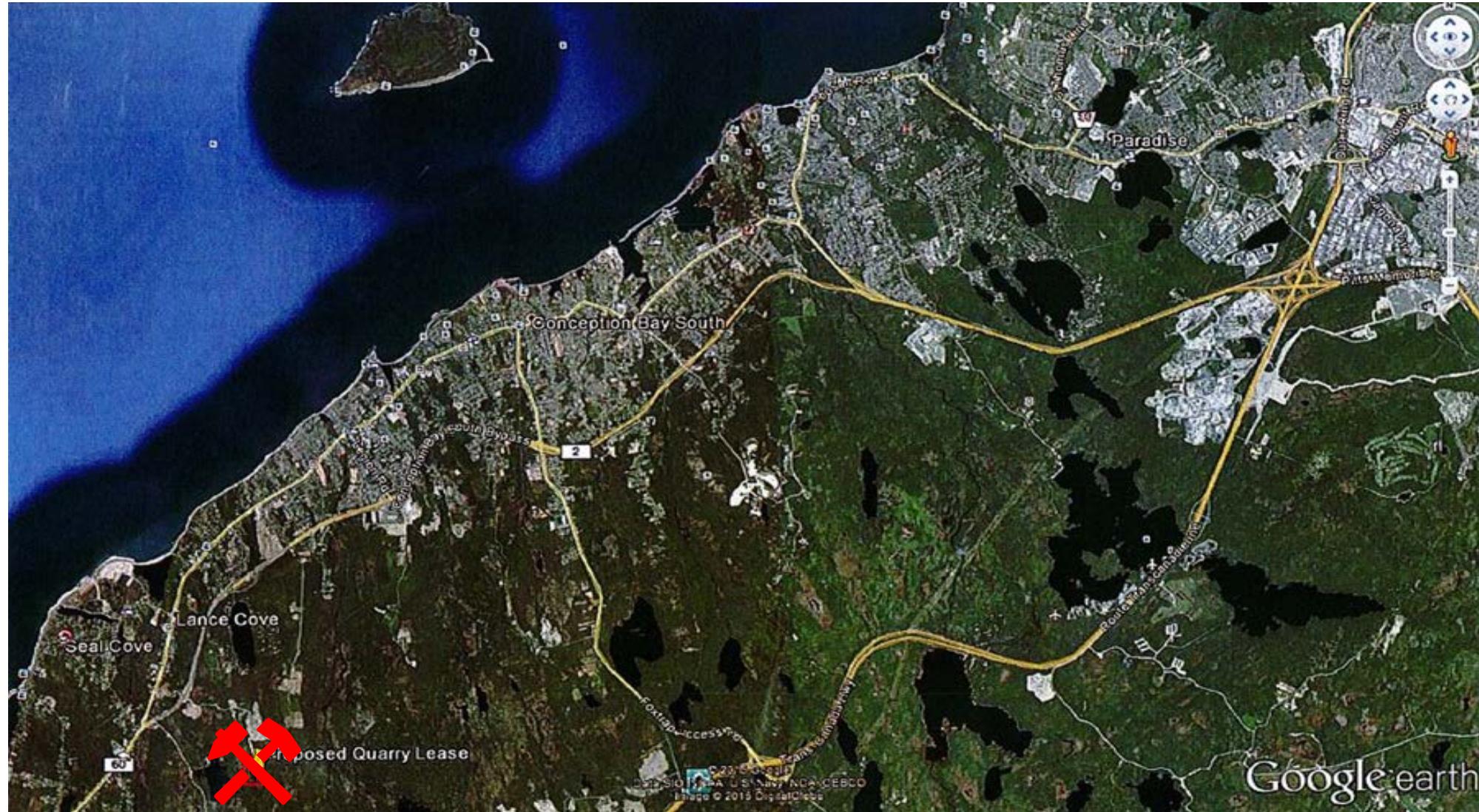
# Purpose

- To provide the general public with an opportunity to be informed about Weir's Application to obtain a Quarry Permit to conduct a gravel aggregate extraction operation at a proposed site located in the White Hill Pond area.
- Provide an opportunity to general public to provide comments with respect to the proposed application. This is not a question and answer session and we will not prepared to argue whether or not this is a good or bad project. We are here to provide you with information and will only answer questions to provide information.
- Compliance with the Dept of the Environment Environmental Preview Report (EPR) requirements

# PROPOSED QUARRY LOCATION

- Site is located north east of the CBS By-Pass Highway off Granny Till Road approximately 1.5 km east of the bailey bridge which spans the CBS Highway.
- Site is in close proximity to other quarry operations currently in operation off Granny Till Road
- See Attached Photos which provide an indication of proposed site.

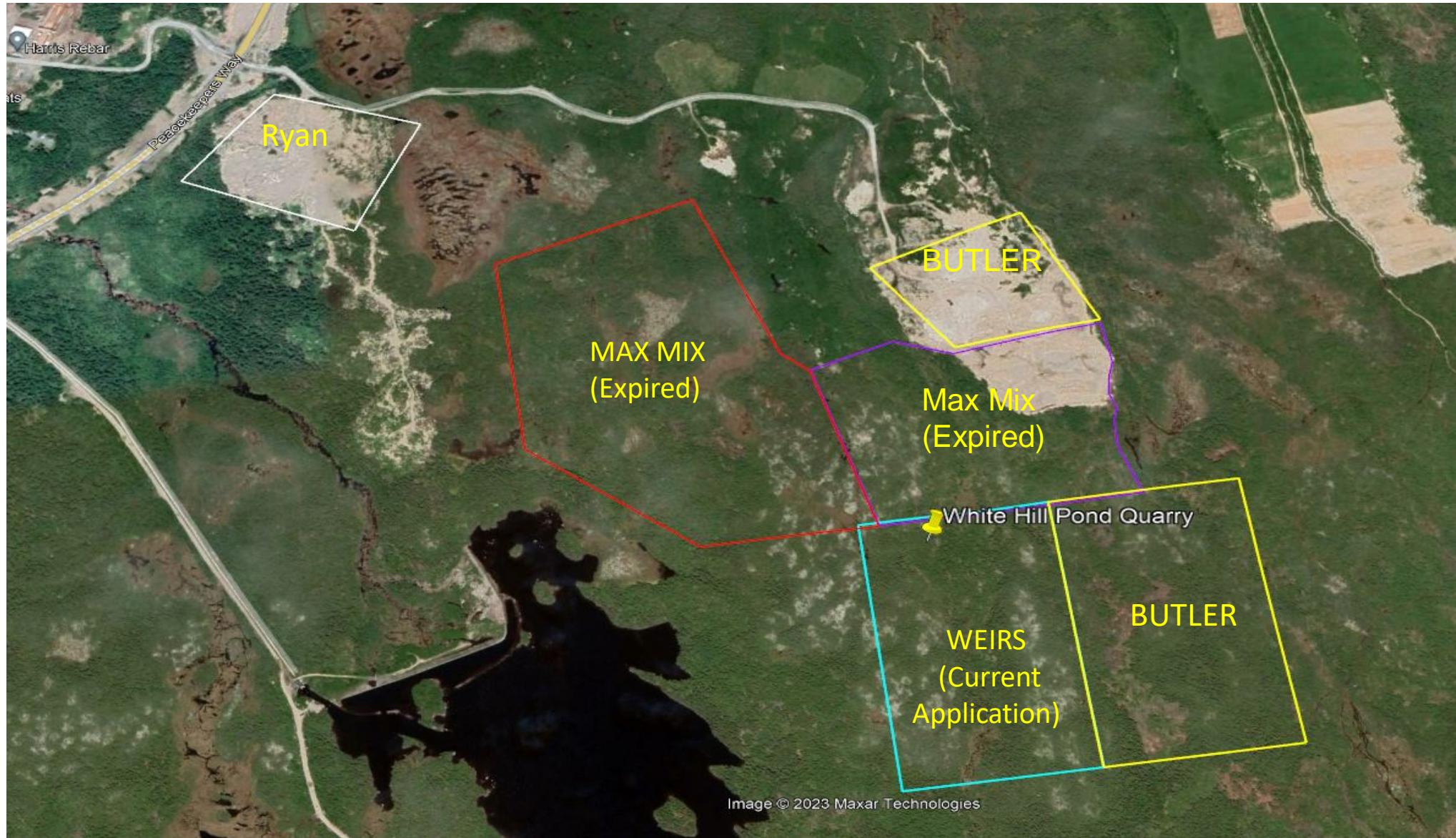
# GENERAL LOCATION OF PROPOSED QUARRY SITE



## AREA OVERVIEW



# EXISTING QUARRY PERMITS/APPLICATIONS



## SITE LOCATION CLOSE UP



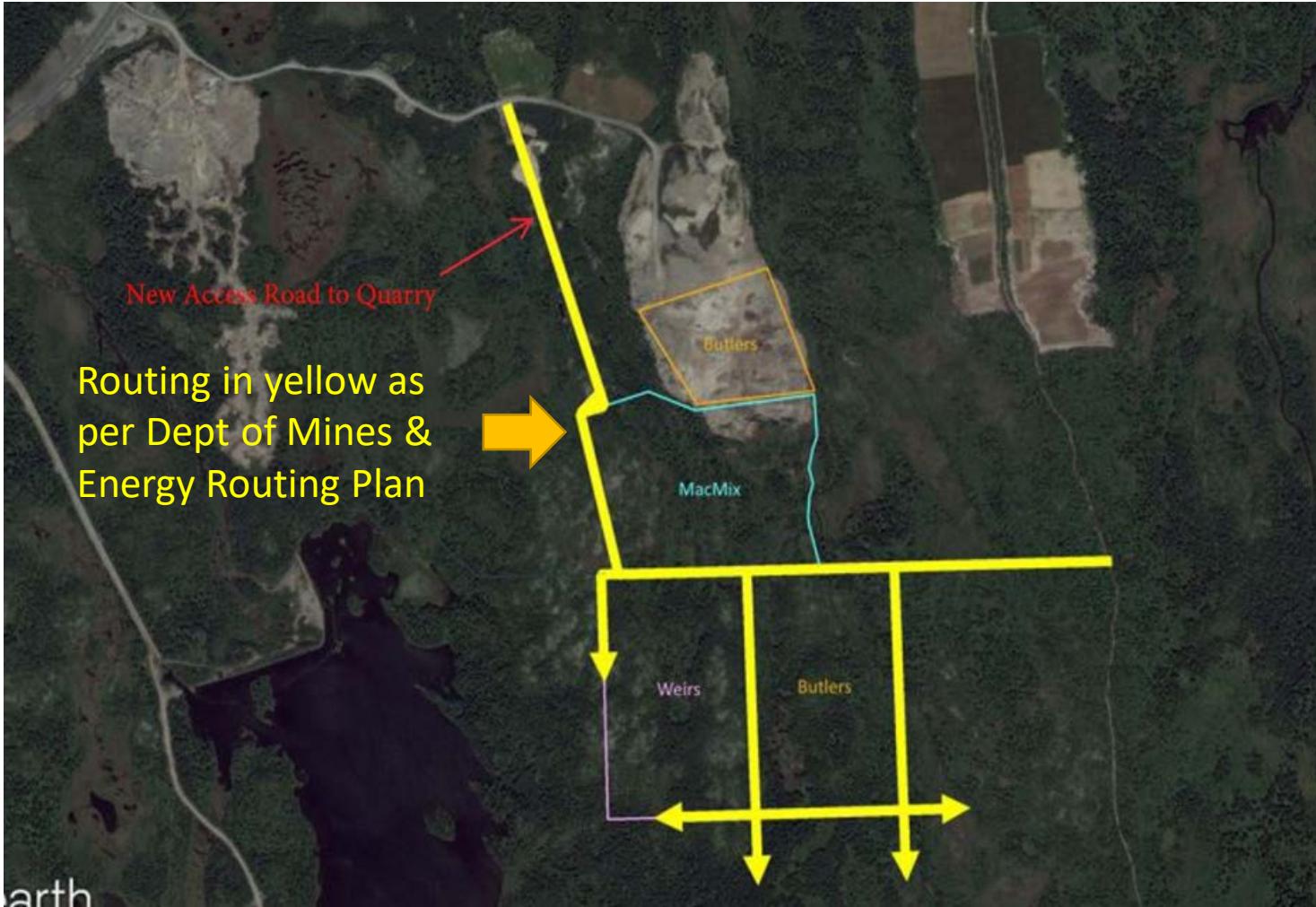
# ACCESS

- Site shall be accessed off the CBS Bypass Hwy via Granny Till Road and existing access route provide via current quarry lease permits as shown on the following slide entitled Access Route

# PROPOSED PRIVATE ACCESS OFF CBS BY-PASS



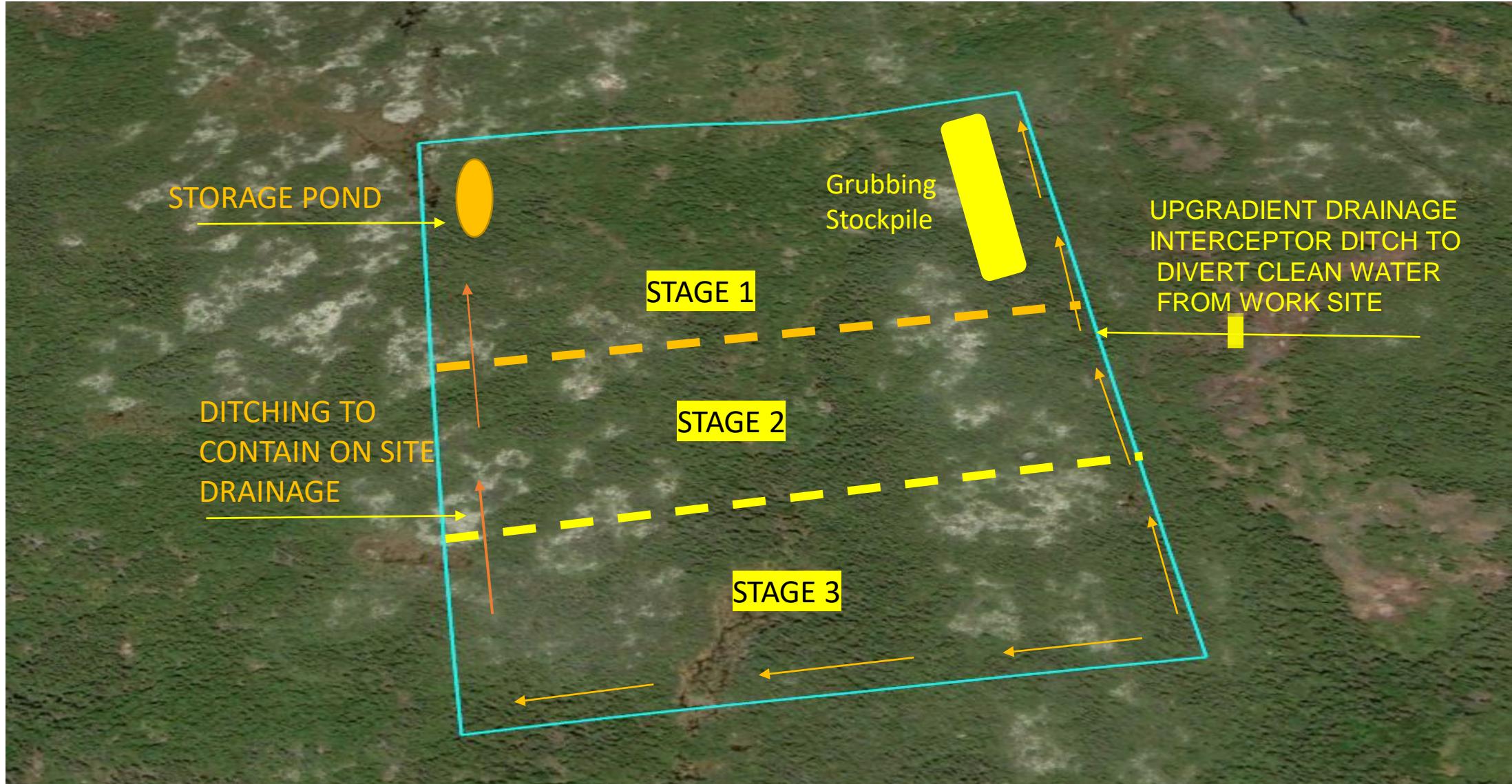
## PROPOSED ACCESS ROUTE



# PROPOSED DEVELOPMENT

- Site shall be developed in three stages, procedure followed in each shall be same.
- Procedure ( To be repeated in each stage of operation)
  1. Cut and salvage any commercial timber
  2. Clear cut and chip remainder of overburden
  3. Strip, stockpile on site overburden and chipped timber (to be used for site rehab)
  4. Construct perimeter ditch around work area to channel runoff away from workings.
  5. Construct on site water storage pond to capture drainage from working area to prevent sedimentation from exiting site. Water from this storage pond shall be reused in any on site washing procedures.
  6. Aggregates shall be extracted from working area, screened and transported to Weir's Concrete Plant.
  7. Screening rejects shall be stockpiled on site for use in future rehab operations.

# SITE DEVELOPMENT CONCEPT



# ON SITE ACTIVITY/INFRASTRUCTURE

- ON SITE EQUIPMENT/INFRASTRUCTURE
  - Screening Plant
  - Office Trailer
  - Equipment ( Excavator/ Loaders/Trucks/pumps/generator on as needed basis)
  - Port-a-poddy
- There will be no onsite fuel storage facilities – fuel will be delivered on an as needed basis
- Workforce
  - Seasonal equipment operator, truck drivers and labourers ( max 6)
- Trucking
  - Periodic on as needed basis maximum number trucks any one day not expected to exceed 10 tandems and/or semi dumps.

# Visibility

- The site is effectively screened by the local vegetation and shall not be visible from the Town of CBS or the CBS By Pass Road as evident from the following series of reports.



Google Earth





Google Earth



Google Earth

# Impacts of Proposed Development

- No negative environmental Impacts from the development have been identified.
- No water quality issues are expected due to the sites proximity to Wood Hill Pond since steps will be take to contain any sediment laden water to the site and there will be 150m buffer between the site and the shoreline of the pond.
- There have been no endanger species of wildlife identified as residing in the immediate area which might have its habitat adversely affected by the proposed development.
- Likewise there is no know endangered or unique species of flora or fauna know to grow in the immediate area.
- The proposed screening operation will produce minimal dust and will not adversely affect the air quality in the area and there will be no negative noise impact from the screening operations.

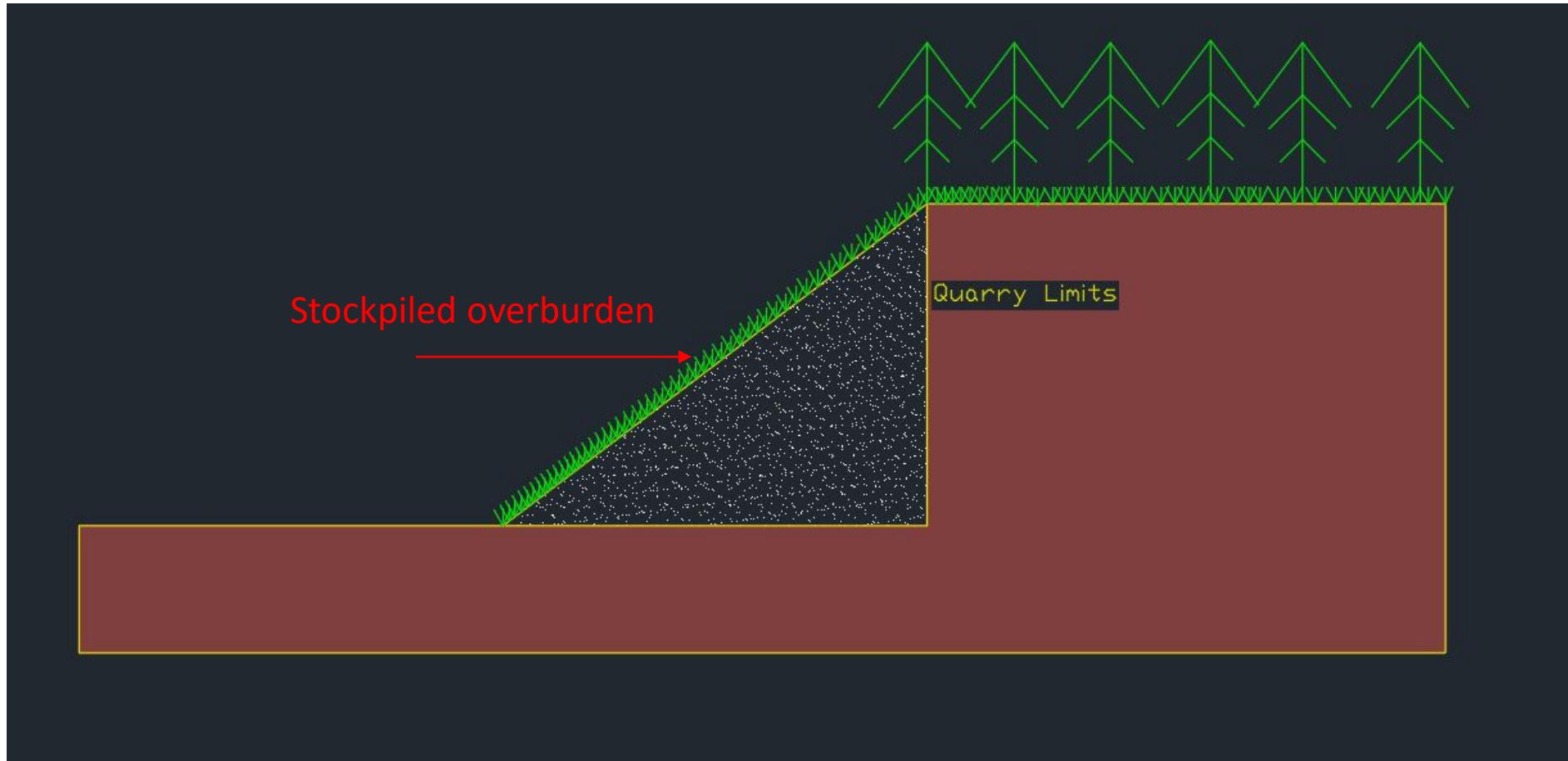
# Economic Benefits

- Will provide a source of aggregate that will enable Weir's to continue its concrete and paving operation on the Avalon Peninsula and will ensure the continued employment of some 50 to 60 employees.

# Site Rehabilitation

- Once the site aggregates are exhausted the site shall be rehabilitated as follows:
  - The working floor shall be rough graded to prevent the ponding of surface water
  - The sides of the quarry shall be sloped at a min of 2(H):1(V) and then the accumulated stockpile of overburden shall be spread over the slopes as shown on the next slide.
  - All access points to the site shall be blocked by physical barriers such as large boulders left from the site operations.
  - The site will then be left to revegetate.

## TYPICAL SIDE SLOPE REHABILITATION



# COMMENTS/QUESTIONS???

- All comments shall be noted and included in the final EPR submission to the Minister of the Environment.
- We ask those in attendance to COMPLETE the attendance sheet at the back of the room with their name, address, email address and telephone number
- Should you have any questions following the meeting we ask that you email them to Travis Byrne at the following address:

[tbyrne@weirs.ca](mailto:tbyrne@weirs.ca)

# **PUBLIC NOTICE**

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A Public Information session on the Proposed  
White Hill Pond Quarry, Granny Till Road, Seal Cove, Conception Bay South

Shall Be Held  
25th January 2023 at 7:00PM

AT THE OFFICE OF  
**Weir's Construction Limited**  
**195 Conception Bay Highway By-pass**

This Session shall be conducted by the Proponent, Weir's Construction Limited.

As part of the environmental assessment for the Project. The purpose of this session is to describe all aspects of the proposed Project, to describe the activities associated with it, and to provide an opportunity for all interested persons to request information or state their concerns.

Those interested in attending are asked to pre-register by calling the office of  
Weir's Construction Limited at 709-368-4081

**ALL ARE WELCOME**