

Environmental Assessment Registration

Project Title: 431A Marble Drive Residential Construction

Submitted to:

Director, Environmental Assessment Division

Submitted by:

Tony Young

Project Date: December 2025

1. Proponent Information:

I. Name:

Tony Young (Property Owner)

II. Address:

431A Marble Drive
Little Rapids, Newfoundland and Labrador

III. Chief Executive Officer:

Tony Young (Property Owner)

IV. Principal Contact Person:

Tony Young (Owner)
Email: Tonyyoung.rps@gmail.com

Jamie Brake (Consultant)
Email: Thebrakes2008@hotmail.com

2. The Undertaking:

I. Name:

Residential Property Development – Tony Young (Property Owner)

II. Purpose:

The purpose of this undertaking is to develop a residential building lot and construct a new single-family dwelling

3. Description of the Undertaking:

I. Geographic Location:

The proposed development site is located within the Local Service District of Little Rapids, Newfoundland and Labrador. It is accessible via Marble Drive, the primary roadway serving the community. The property encompasses approximately 0.778 hectares (ha) and is positioned in a predominantly residential area with a mix of developed and undeveloped parcels.



Figure No. 1: Project Location

Property Boundaries:

- **West:** developed land with business Rapid Power Sports
- **North:** The Humber River
- **East:** undeveloped land, beyond which are additional residential properties
- **South:** Marble Drive and the Trans-Canada Highway (TCH)

Access Directions:

- **From the East (via Trans-Canada Highway):** Take Exit 9A toward Marble Drive and travel approximately 150 metres to reach 431A Marble Drive.
- **From the West (via Trans-Canada Highway):** Take Exit 8, turn onto Marble Drive, and proceed approximately 4.85 kilometres to the project site



Figure No. 2: Surrounding Area

II. Physical Features

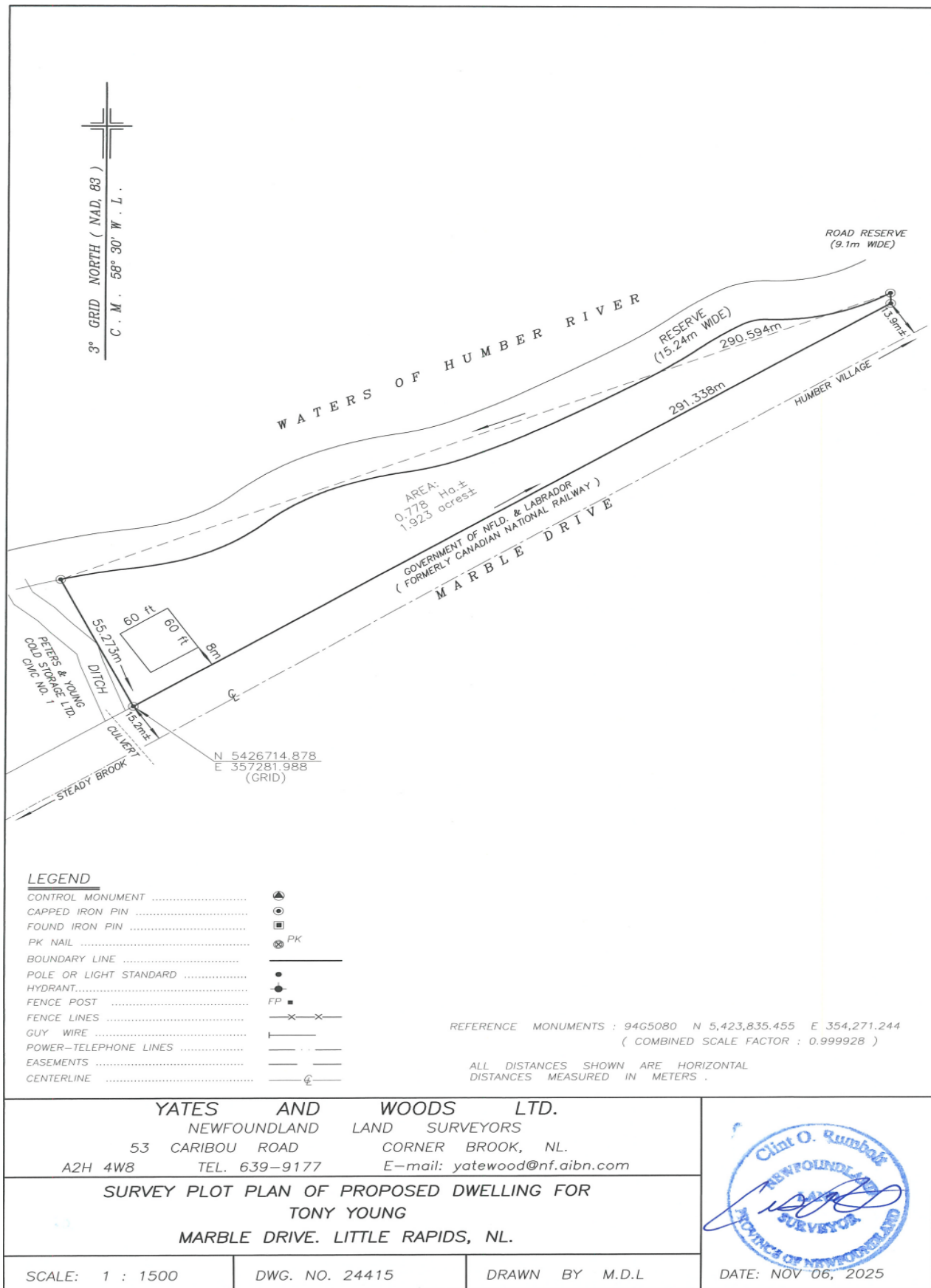


Figure No. 3: Survey

The proposed undertaking consists of the development of a 0.778-ha parcel of land located at 431A Marble Drive in Little Rapids, Newfoundland and Labrador. This initiative is led by the future property owner, Tony Young, and is pending the successful acquisition of all necessary permits and approvals, including environmental assessment registration, water resource permits, and Department of Government Services development permits. The property is owned by Tony Young, as outlined in the current purchase and sale agreement.

Proposed Development Elements

The development will include the following primary features:

- **Residential Dwelling:** A two-storey, wood-framed house with an approximate building footprint of 334 square meters (18.29 m x 18.29 m). The home will be constructed using standard residential techniques and materials, including a poured concrete foundation, framing lumber, roofing, insulation, siding, and energy-efficient windows and doors. Interior systems will include modern plumbing, electrical, and HVAC installations, all completed by licensed tradespeople.
- **Driveway and Site Access:** A new gravel or crushed stone driveway will be constructed from Marble Drive to the main residence. Minor excavation and grading work will be completed to shape the driveway, which will also incorporate proper drainage features to prevent surface water pooling or runoff.
- **Water and Sanitary Systems:** A drilled well will be installed to provide potable water to the residence, while a private septic system will be designed by an approved septic designer. The septic field will be installed in accordance with all local and provincial health regulations and will be inspected and approved by the Department of Government Services.

Site Characteristics and Natural Features

The subject property lies within a residentially zoned area and is uniquely positioned along the banks of the Humber River, providing approximately 289 meters of direct water frontage. The lot features exceptional natural scenery, including views of the surrounding mountain ridges and valley landscapes. The site is partially cleared, gently sloping from the higher elevation of the building site to the lower elevation at the river's edge. The topography allows for efficient drainage and minimal site modification prior to construction.

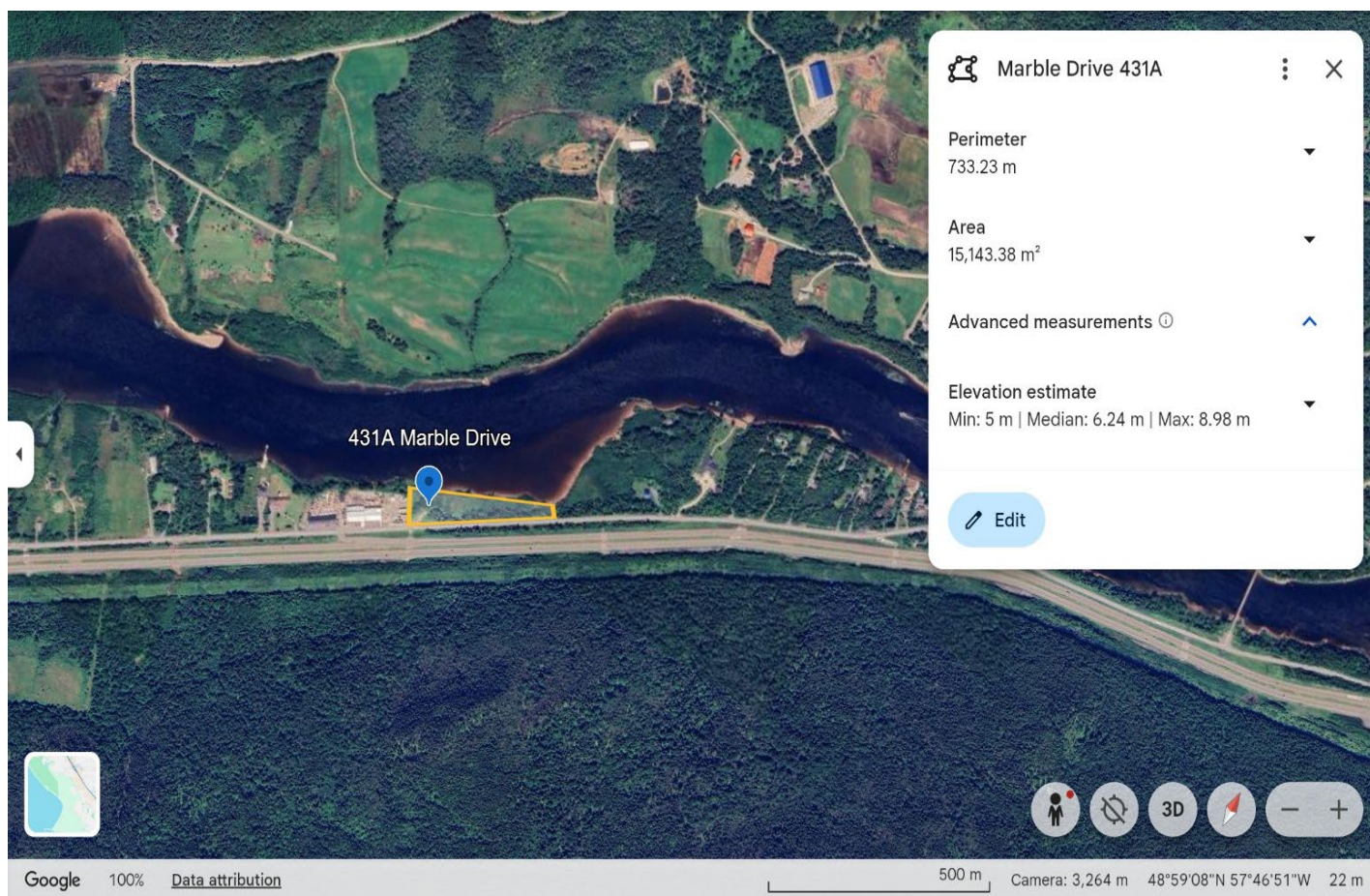


Figure No. 4: Property location

Vegetation across the property is composed primarily of grass, with scattered clusters of small willows and alders. These low-impact species will be retained where possible, particularly along the riverbank, to maintain a natural buffer zone that supports shoreline stability and local biodiversity. The establishment and preservation of this green buffer will mitigate erosion, reduce stormwater runoff, and protect aquatic habitats.



Photo No. 1: Property Landscape

A 15-meter-wide reservation zone, outlined by environmental protection guidelines, will remain undisturbed between the river boundary and the edge of the developed area. The river itself is situated approximately 1.5 meters above sea level, while the main building site sits at roughly 10 meters above sea level, ensuring adequate elevation to prevent flood risk and allowing for secure residential construction.

III. Construction:

Construction of the residence is scheduled to begin in the spring or summer of 2026 and is expected to be completed over a one-year period.

The proposed residential structure will be situated approximately 35 metres from the Humber River and constructed using standard residential building practices. The dwelling will be a wood-framed structure built on a poured concrete footing and foundation system, ensuring structural integrity and compliance with local and provincial building standards.

Site development will include the installation of critical infrastructure such as a drilled well for potable water and a private septic system. The design and construction of the septic system and its associated field will be carried out in accordance with all applicable regulations and will be reviewed, approved, and inspected by the: Department of Government Services to ensure both environmental

compliance and public health safety.

Excavation will be necessary to install the water and sewer systems, as well as to complete general site grading and leveling. This work will be conducted using an excavator and tandem truck, which are anticipated to be the primary sources of emissions during the construction phase. To mitigate the environmental impact of emissions from this equipment, the following measures will be implemented:

- **Regular Maintenance:** All machinery and equipment will be regularly serviced and maintained in good working condition to reduce emissions and improve fuel efficiency.
- **Reduced Idling:** Operators will follow strict no-idling protocols to reduce unnecessary fuel consumption and minimize greenhouse gas emissions.
- **Dust Control:** During periods of dry weather, water will be applied to disturbed soil areas to suppress dust and maintain local air quality.

Minimal rock fill will be imported and used to construct a functional gravel driveway. All other materials on-site will be redistributed and leveled to achieve the final site configuration. Landscaping will consist of a combination of crushed stone for the driveway and grassed areas to stabilize soil and enhance the visual appeal of the property.

Several mitigation measures will be implemented to preserve the integrity of the surrounding environment. A vegetated buffer of 30 m will be maintained between all construction activities and the riverbank, preserving the natural growth of grasses, willows, and alders that act as natural filters. Silt fencing and other erosion control barriers, such as hay bales, will be installed around disturbed areas to capture sediment and prevent it from entering the waterway. Soil disturbance will be minimized wherever possible, and disturbed areas will be stabilized or re-vegetated promptly. Temporary sediment traps and shallow diversion trenches will be used to manage surface runoff and encourage sedimentation before water reaches the river. Driveways and access roads will be constructed with crushed stone to limit erosion and facilitate drainage. All construction work will be scheduled during dry weather periods to reduce erosion risks, and all construction materials and fuels will be securely stored well away from the river. Regular monitoring of erosion control measures will ensure ongoing effectiveness, with timely repairs as required. Upon completion of construction, all exposed soil will be stabilized through seeding to enhance soil retention and long-term environmental health. All construction-related waste and debris will be transported to and disposed of at the Wild Cove Waste Disposal Site in Corner Brook, in accordance with local regulations.

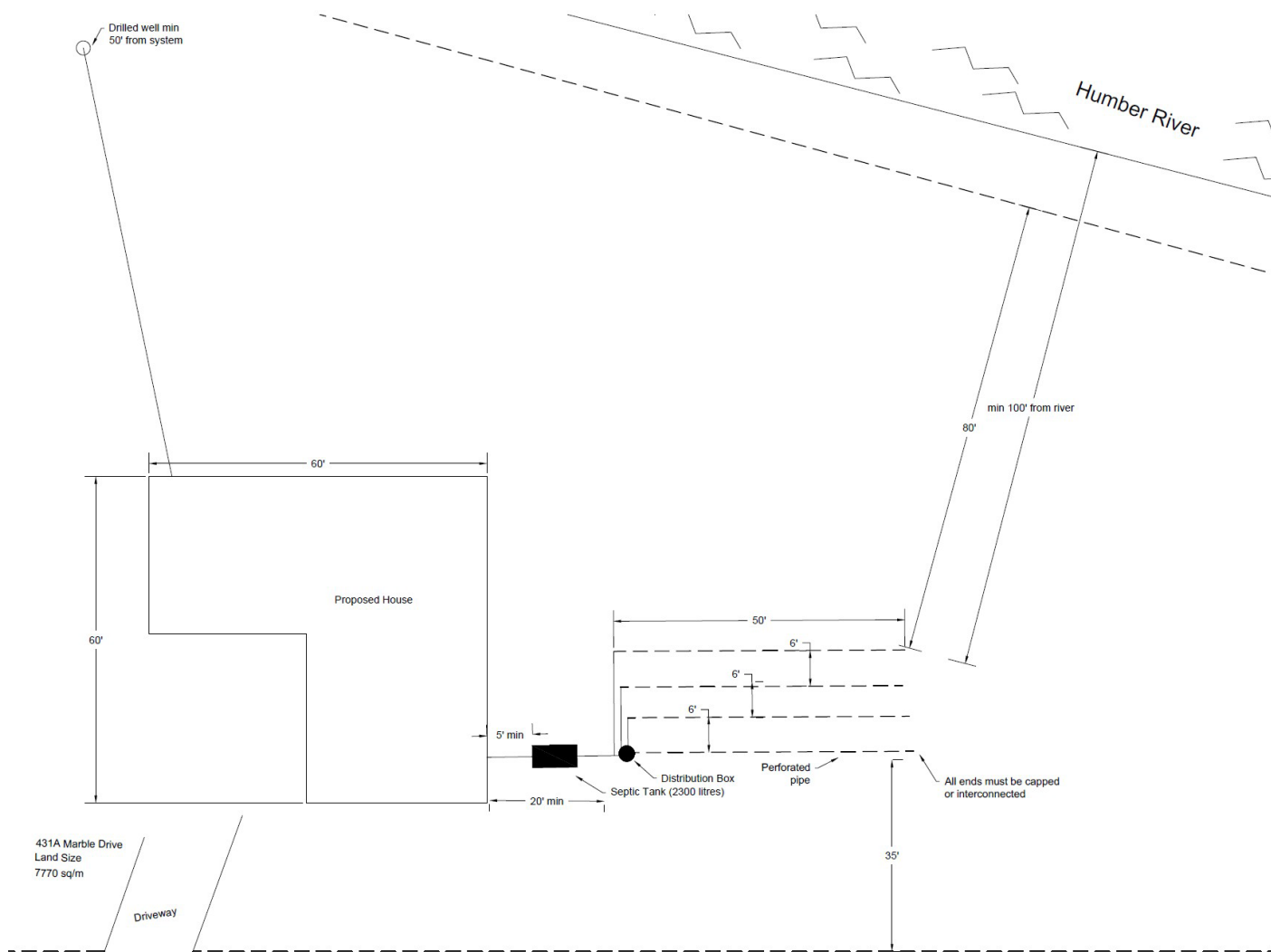


Figure No. 5: Proposed Septic Field

Environmental and Construction Considerations

All site preparation, grading, and excavation work will be completed using an excavator. Rock fill may be required to establish the driveway base, while remaining material will be redistributed and levelled on-site. No significant soil removal or importation is expected.

Upon completion of major construction, the property will be landscaped with a combination of grassed lawn areas, native shrubs, and low-maintenance ground cover to blend with the surrounding environment. The driveway and access areas will be finished with compacted crushed stone. All construction debris and waste will be transported to the Wild Cove Waste Disposal Site in Corner Brook, in accordance with municipal guidelines.

A conceptual site layout will accompany this submission, illustrating the placement of the proposed dwelling, and driveway access. A 30-meter distance separation from the septic field in relationship to the Humber River is required and confirmed by the Department of Forestry Agriculture and Lands.

IV. Operation:

The proposed project involves the construction of a permanent residential dwelling for Tony Young, which will serve as a private, non-commercial residence. As such, there will be no ongoing operations beyond standard residential occupancy.

The property will not involve any industrial, commercial, or seasonal activity that would contribute to operational emissions or environmental impact. Waste generated will be limited to typical residential solid waste, which will be collected through the regular municipal waste management system.

Sanitary wastewater will be managed through an on-site septic system and field, professionally designed. The system will be reviewed, approved, and inspected by the Department of Government Services, ensuring compliance with provincial regulations for residential wastewater treatment and disposal available at <https://www.gov.nl.ca/gs/licences/env-health/septic/less/>.

V. Occupations:

The construction of the residential dwelling will engage a skilled workforce sourced primarily from the local community. The following trades will be involved in the project:

- **Electricians (NOC 72200)** – Responsible for electrical system installation, wiring, and ensuring the residence meets all safety and code requirements.
- **Plumbers (NOC 72300)** – Tasked with installing the plumbing systems, including water lines, sewage, and fixtures for the residence.
- **Carpenters (NOC 72310)** – Responsible for structural framing, installation of doors, windows, and other woodwork required in the building process.

The future property owner, Tony Young, will personally manage and perform site preparation, final landscaping, and cleanup tasks once the construction is complete.

VI: Project Related Documents:

Primary Permit to Develop Land Application

Reference Number: Sent for approval

Description: Permit application for Development of Land and the construction of a permanent residential dwelling at 431A Marble Drive, Little Rapids.

Septic System Approval

Reference Number: Department of Government Services

Description: Approval for the design and installation of a private septic system, to be reviewed and accepted by the appropriate regulatory authority.

Environmental Reports

No environmental reports or related studies have been previously completed by or on behalf of the proponent.

Land Survey

Completed by professional Legal Surveyor Yates and Woods

4. Approvals Required for the Undertaking

The following approvals and permits are required for the successful completion of the residential development:

1. Land Development Approval/Permit

Issued by the Department of Modernization and Service Delivery. This permit is necessary to proceed with the land development activities, including excavation, construction, and site preparation.

2. Private Sewage Disposal System and Water Supply System Approval

Required for the installation of a private septic system and drilled well to provide water and manage wastewater for the residential dwelling. The system will be designed by approved designer and must meet all regulatory standards, with inspections and approvals from the appropriate governing authorities.

3. Water Resources Management Division

Development approval granted November 25, 2025, to develop in a 100- Year flood zone.

5. Schedule

The construction of the residential dwelling is expected to begin at the earliest opportunity in the spring of 2026 construction season. The start date will be contingent upon weather conditions and the availability of necessary resources, which will be the primary factors influencing the project timeline. The overall construction process is anticipated to take approximately one year, with final completion expected by 2027, assuming favorable conditions.

6. Funding

The project will be entirely self-funded by the proponent, Tony Young. As the sole investor and owner, Mr. Young will assume full responsibility for financing the residential construction, including all permits, materials, utilities, infrastructure, and related development costs. The total estimated capital cost for the project is approximately \$700,000 CAD. This figure includes the cost of land development, construction of a two-storey residential dwelling, installation of a septic system and drilled well, driveway construction, and all required municipal and provincial approvals

Signature of Chief Executive Officer

Date

APPENDIX



Conceptual Property Layout



20-100 Year Flood Risk Mapping



Government of Newfoundland and Labrador
 Department of Environment and Climate Change
 Water Resources Management Division

PERMIT TO ALTER A BODY OF WATER

Pursuant to the *Water Resources Act*, SNL 2002 cW-4.01, specifically Section(s) 48

Date:	NOVEMBER 25, 2025	File No: 526 Permit No: <u>ALT14720-2025</u>
Permit Holder:	Tony Young 75 Mountain View Road Humber Valley Resort, NL A2H 0E1 tonyyoung.rps@gmail.com	
Attention:	Tony Young	
Re:	431A Marble Drive, Little Rapids (Humber River) - Construction of a residential dwelling in 100-year flood zone	

Permission is hereby given for : **the construction of a residential dwelling (60 ft x 60 ft) and associated driveway at 431A Marble Drive, Little Rapids, located within the 1-in-100-year designated floodplain of the Humber River, with reference to the application dated August 6, 2025 and additional information received on November 19 and November 24, 2025.**

- This Permit does not release the Permit Holder from the obligation to obtain appropriate approvals from other concerned municipal, provincial and federal agencies.
- The Permit Holder must obtain the approval of the Crown Lands Administration Division if the project is being carried out on Crown Land.
- This Permit is subject to the terms and conditions indicated in Appendices A and B (attached).
- It should be noted that prior to any significant changes in the design or installation of the proposed works, or in event of changes in ownership or management of the project, an amendment to this Permit must be obtained from the Department of Environment and Climate Change under Section 49 of the *Water Resources Act*.

(for) MINISTER

GOVERNMENT OF NEWFOUNDLAND AND LABRADOR
Department of Environment and Climate Change

File No: **526**
Permit No: **ALT14720-2025**

APPENDIX A
Terms and Conditions for Permit

Flood Zone Development

1. The proposed dwelling construction at 431A Marble Drive, Little Rapids is within the designated floodplain of Humber River for the Local Service District of Little Rapids. This development, and future development at the site, must comply with this Department's policy directive for *Flood Plain Management W.R. 96-1*.
2. The living areas for the house must be constructed 0.6 metres above the estimated 1-in-100-year climate-change flood elevation of 10.2 metres (Geodetic elevation 2013) for this area.
3. Fill may be placed on the lot only to the extent required for flood protection.
4. Any further development in the flood zone area not specifically covered by this permit will require a separate permit from this Division under Section 48 of the *Water Resources Act*.
5. All structures and associated utilities must be designed and constructed in accordance with the flood proofing guidelines of this Department <https://www.gov.nl.ca/eccc/files/waterres-flooding-floodproofing-protect-your-home-against-flooding-.pdf>, including that the entrances and exits can be safely used in the event of a flood.
6. The proposed use of the facility and site will not involve any storage of pollutants such as fuels, chemicals, pesticides, etc.
7. The structure will not interfere with the flow of water or displace water such that it creates a worse flooding situation for other properties.

General Alterations

8. Any work that must be performed below the high water mark must be carried out during a period of low water levels.
9. Any flowing or standing water must be diverted around work sites so that work is carried out in the dry.
10. Water pumped from excavations or work areas, or any runoff or effluent directed out of work sites, must have silt and turbidity removed by settling ponds, filtration, or other suitable treatment before discharging to a body of water. Effluent discharged into receiving waters must comply with the *Environmental Control Water and Sewage Regulations, 2003*.
11. All operations must be carried out in a manner that prevents damage to land, vegetation, and watercourses, and which prevents pollution of bodies of water.
12. The use of heavy equipment in streams or bodies of water is not permitted. The operation of heavy equipment must be confined to dry stable areas.
13. All vehicles and equipment must be clean and in good repair, free of mud and oil, or other harmful substances that could impair water quality.

14. During the construction of concrete components, formwork must be properly constructed to prevent any fresh concrete from entering a body of water. Dumping of concrete or washing of tools and equipment in any body of water is prohibited.
15. Wood preservatives such as penta, CCA or other such chemicals must not be applied to timber near a body of water. All treated wood or timber must be thoroughly dry before being brought to any work site and installed.
16. Any areas adversely affected by this project must be restored to a state that resembles local natural conditions. Further remedial measures to mitigate environmental impacts on water resources can and will be specified, if considered necessary in the opinion of this Department.
17. The bed, banks and floodplains of watercourses, or other vulnerable areas affected by this project, must be adequately protected from erosion by seeding, sodding or placing of rip-rap.
18. All waste materials resulting from this project must be disposed of at a site approved by the Department of Digital Government and Service NL.
19. Periodic maintenance such as painting, resurfacing, clearing of debris, or minor repairs, must be carried out without causing any physical disruption of any watercourse. Care must be taken to prevent spillage of pollutants into the water.
20. The owners of structures are responsible for any environmental damage resulting from dislodgement caused by wind, wave, ice action, or structural failure.
21. Sediment and erosion control measures must be installed before starting work. All control measures must be inspected regularly and any necessary repairs made if damage is discovered.
22. Fill material must be of good quality, free of fines or other substances including metals, organics, or chemicals that may be harmful to the receiving waters.
23. The attached Completion Report (Appendix C) for Permit No. 14720 must be completed and returned to this Department upon completion of the approved works. Pictures must be submitted along with the completion report, showing the project site prior to and after development.
24. This Permit is valid for two years from the date of issue. Work must be completed by that date or the application and approval procedure must be repeated.
25. The location of the work is highlighted on the Location Map for this Permit attached as Appendix D.
26. All work must be carried out within the Permit Holder's legal property boundaries.
27. This licence/permit does not constitute an acknowledgement of interest in any land claims adjacent.

GOVERNMENT OF NEWFOUNDLAND AND LABRADOR
Department of Environment and Climate Change

File No: **526**
Permit No: **ALT14720-2025**

APPENDIX B

Special Terms and Conditions for Permit

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1. The Permit Holder and its agent(s), subcontractor(s), and consultant(s) shall keep all systems and works in good condition and repair and in accordance with all laws, by-laws, directions, rules and regulations of any governmental authority. The Permit Holder or its agent(s), subcontractor(s), or consultant(s) shall immediately notify the Minister if any problem arises which may threaten the structural stability of the systems and works, endanger public safety and/or the environment or adversely affect others and/or any body of water either in or outside the said Project areas. The Permit Holder and its agent(s), subcontractor(s), and consultant(s) shall be responsible for all damages suffered by the Minister and Government resulting from any defect in the systems and works, operational deficiencies/inadequacies, or structural failure.
 2. The Permit Holder and its agent(s), subcontractor(s), and consultant(s) shall operate the said Project and its systems and works in a manner which does not cause any water related and/or environmental problems, including but not limited to problems of erosion, deposition, flooding, and deterioration of water quality and groundwater depletion, in or outside the said Project areas. The Permit Holder and its agent(s), subcontractor(s), and consultant(s) shall be responsible for any and all damages associated with these problems caused as a result of changes, deficiencies, and inadequacies in the operational procedures by the Permit Holder or its agent(s), subcontractor(s), or consultant(s).
 3. If the Permit Holder or its agent(s), subcontractor(s), or consultant(s) fails to perform, fulfil, or observe any of the terms and conditions, or provisions of this Permit, as determined by this Department, the Minister may, without notice, amend, modify, suspend or cancel this Permit in accordance with the *Water Resources Act*.
 4. The Permit Holder and its agent(s), subcontractor(s), and consultant(s) indemnify and hold the Minister and Government harmless against any and all liabilities, losses, claims, demands, damages or expenses including legal expenses of any nature whatsoever whether arising in tort, contract, statute, trust or otherwise resulting directly or indirectly from granting this Permit, systems and works in or outside the said Project areas, or any act or omission of the Permit Holder or its agent(s), subcontractor(s), or consultant(s) in or outside the said Project areas, or arising out of a breach or non-performance of any of the terms and conditions, or provisions of this Permit by the Permit Holder or its agent(s), subcontractor(s), or consultant(s).
 5. This Permit is subject to all provisions of the *Water Resources Act* and any regulations in effect either at the date of this Permit or hereafter made pursuant thereto or any other relevant legislation enacted by the Province of Newfoundland and Labrador in the future.
 6. This Permit shall be construed and interpreted in accordance with the laws of the Province of Newfoundland and Labrador.

File No: 526
 Permit No: ALT14720-2025

- cc: Jamie Brake
 Consultant
 1A Marine Drive
 Meadows, NL A2H 6B9
 thebrakes2008@hotmail.com
- cc: Western Regional Lands Office
 Crown Lands
 Fisheries and Lands Resources
 WesternRegionLands@gov.nl.ca
- cc: Fish and Fish Habitat Protection Program
 Aquatic Ecosystems Branch
 Fisheries and Oceans Canada
 P.O. Box 5667
 St. John's, NL A1C 5X1
 dfo.fppnl-ppptnel.mpo@dfo-mpo.gc.ca
- cc: Local Service District of Little Rapids
 Chairperson
 P.O. Box 2243, RR1
 Corner Brook, NL A2H 2N2
- cc: Ms. Paula Dawe, P.Eng.
 Manager, Water Rights, Investigations and Modelling Section
 Water Resources Management Division
 Department of Environment and Climate Change
 P.O. Box 8700
 4th Floor, West Block, Confederation Building
 St. John's, NL A1B 4J6
 pauladawe@gov.nl.ca



Government of Newfoundland and Labrador
 Department of Environment and Climate Change
 Water Resources Management Division

Appendix C - Completion Report

Pursuant to the *Water Resources Act*, SNL 2002 cW-4.01, specifically Section(s) 48

Date: **NOVEMBER 25, 2025**

File No: **526**

Permit No: **ALT14720-2025**

Permit Holder: **Tony Young**
75 Mountain View Road
Humber Valley Resort, NL A2H 0E1
tonyyoung.rps@gmail.com

Attention: **Tony Young**

Re: **431A Marble Drive, Little Rapids (Humber River) - Construction of a residential dwelling in 100-year flood zone**

Permission was given for : **the construction of a residential dwelling (60 ft x 60 ft) and associated driveway at 431A Marble Drive, Little Rapids, located within the 1-in-100-year designated floodplain of the Humber River, with reference to the application dated August 6, 2025 and additional information received on November 19 and November 24, 2025.**

I (the Permit Holder named above or agent authorized to represent the Permit Holder) do hereby certify that the project described above was completed in accordance with the plans and specifications submitted to the Department of Environment and Climate Change and that the work was carried out in strict compliance with the terms and conditions of the Permit issued for this project.

Date: _____ Signature: _____

This completion report must be completed and forwarded to the following address upon completion of the approved work.

Department of Environment and Climate Change
 Water Resources Management Division
 PO Box 8700
 St. John's NL A1B 4J6

GOVERNMENT OF NEWFOUNDLAND AND LABRADOR
Department of Environment and Climate Change

File No: 526
Permit No: ALT14720-2025

APPENDIX D
Location Map for Permit

Dwelling construction at 431A Marble Drive, Little Rapids

